TOWN OF DANDRIDGE, TENNESSEE

BOARD OF ZONING APPEALS &
DANDRIDGE REGIONAL PLANNING COMMISSION
REGULAR MEETING
10 June 2025
5:00 p.m.

DANDRIDGE REGIONAL PLANNING COMMISSION

I. PUBLIC COMMENTS

II. READING OF THE MINUTES

- May 13, 2025 Meeting

III. BUSINESS PRESENTED BY THE MAYOR

IV. OLD BUSINESS

V. NEW BUSINESS

- Paul Patel (V&P Developers Inc.) (N. Gay St.) Map 68J, Group D, Parcels 9,10, & 11 – 3 Lot Subdivision and Rezoning Request from R1 to B2

- David & Josh Cate (Greenhill Rd. – Growth Boundary) Map 067, Parcel 037.00 – Preliminary 16-30 Lot Subdivision

- Charlie Bryant (MB&R Contractors) (939 Nichols Rd.) Map 068F, Parcel 004.00 – 3-5 Lot Subdivision

VI. MISCELLANEOUS

VII. ADJOURNMENT

Zach Reese
Town Recorder
Agenda 061025

TOWN OF DANDRIDGE, TENNESSEE
REGIONAL PLANNING COMMISSION
REGULAR MEETING
May 13, 2025

I. CALL TO ORDER

A. The Dandridge Regional Planning Commission met in regular session on Tuesday, May 13, 2025, at 5:00 p.m.

B. Chairman MARK CHAMBERS called the meeting to order and called for roll.

II. ROLL CALL

- A roll call of the Planning Commission was conducted with the following members responding:
  - Chairman CHAMBERS
  - Mayor CHAMBERS
  - Commissioner COLLINS
  - Commissioner FOLEY
  - Commissioner NELSON
  - Commissioner OPEIL
  - Commissioner WILLOUGHBY

ABSENT:

- Alderman LONGMIRE
- Commissioner SCHOLLER

- A quorum being present, the following business was conducted and entered on the record:

III. PUBLIC COMMENTS

None

IV. READING OF THE MINUTES

Meeting Minutes for the April 8, 2025 meeting were approved unanimously

V. BUSINESS PRESENTED BY THE MAYOR

None Presented

VI. OLD BUSINESS

None Presented

VII. NEW BUSINESS

- Carlyle Construction (Phillip Carlyle) Release of Bonds for Creekside Ridge Phase 1 and Phase 1 Extension

  Town Building Inspector Terry Reneau *– Release of two bonds for phase 1 with everything completed (water, sewer, power, asphalt sidewalks)*

  It came on a motion by Mayor CHAMBERS, seconded by Commissioner OPEIL, to Approve the Release of the Bonds to Carlyle Construction

  On a voice vote, the motion passed unanimously, and was so ordered

- David Flynn (E. Hwy 25-70 – Growth Boundary) Map 059 – Portion of Parcel 069.03 and being lot 2R7 of the resubdivision of tract 2 of the Mary Elizabeth Jaynes Property

  David Flynn *– Lower 3.5 acres of property. Boundary properties are already zoned C-2 so just looking to take this from A-1 to C-2/*

It came on a motion by Commissioner NELSON, seconded by Commissioner WILLOUGHBY, to Approve the Rezoning Request and Recommend to County Commission.

On a voice vote, the motion passed unanimously, and was so ordered

- George Allen (1262 Sugarfork Rd.) Map 068E, Group B, Parcel 001.01 – Rezone R1-B2

Town Building Inspector Terry Reneau *– This is in a residential area but there is B-2 to the back of the property.*

ETDD Regional Planner Ekem Amonoo-Lartson *– believes rezoning to B-2 would compromise residential aspect of area.*

It came on a motion by Commissioner NELSON, seconded by Commissioner WILLOUGHBY, to Deny the Rezoning Request.

On a voice vote, the motion passed unanimously, and was so ordered

VIII. MISCELLANEOUS

ETDD Regional Planner Ekem Amonoo-Lartson *– will begin working with Terry soon on the plan for the year*

IX. ADJOURNMENT

It came on a motion by Mayor CHAMBERS, seconded by Commissioner NELSON, to adjourn the May 13, 2025, meeting of the Dandridge Regional Planning Commission.

On a voice vote, the motion passed unanimously, and was so ordered.

_____ **ATTEST:** _____

Mark Chambers, Chairman Zach Reese, Town Recorder

TOWN OF DANDRIDGE REGIONAL PLANNING COMMISSION
REQUEST FORM

Presenter: Mr. Paul Patel Date: 11th April 2025

Property Owner(s): V & P Developers INC.

Property Address: N Gay st

(House#, Street Name, Subdivision Name if applicable)

Map and Parcel Number(s): 68J- D - 9,10+11

Phone Number(s) [illegible] r

(Please list number where you can be reached during the day)

Attention: All requesters to the Town of Dandridge Planning Commission and/or Board of Zoning Appeals are required to present their materials in accordance to the written regulations within the City's Zoning Ordinance and Subdivision Regulations. Failure to follow these regulations prior to submission will result in having your request removed from the City's Planning Commission and/or Board of Zoning Appeals monthly meeting until such requirements are met.

Special Note: According to the Tennessee Coded Annotated (T.C.A) all subdivision plats (in areas without city sewer/water services) presented to the Town of Dandridge's Planning Commission are required by law to have the signature of the Jefferson County Health Department representative prior to **FINAL PLAT** submission.

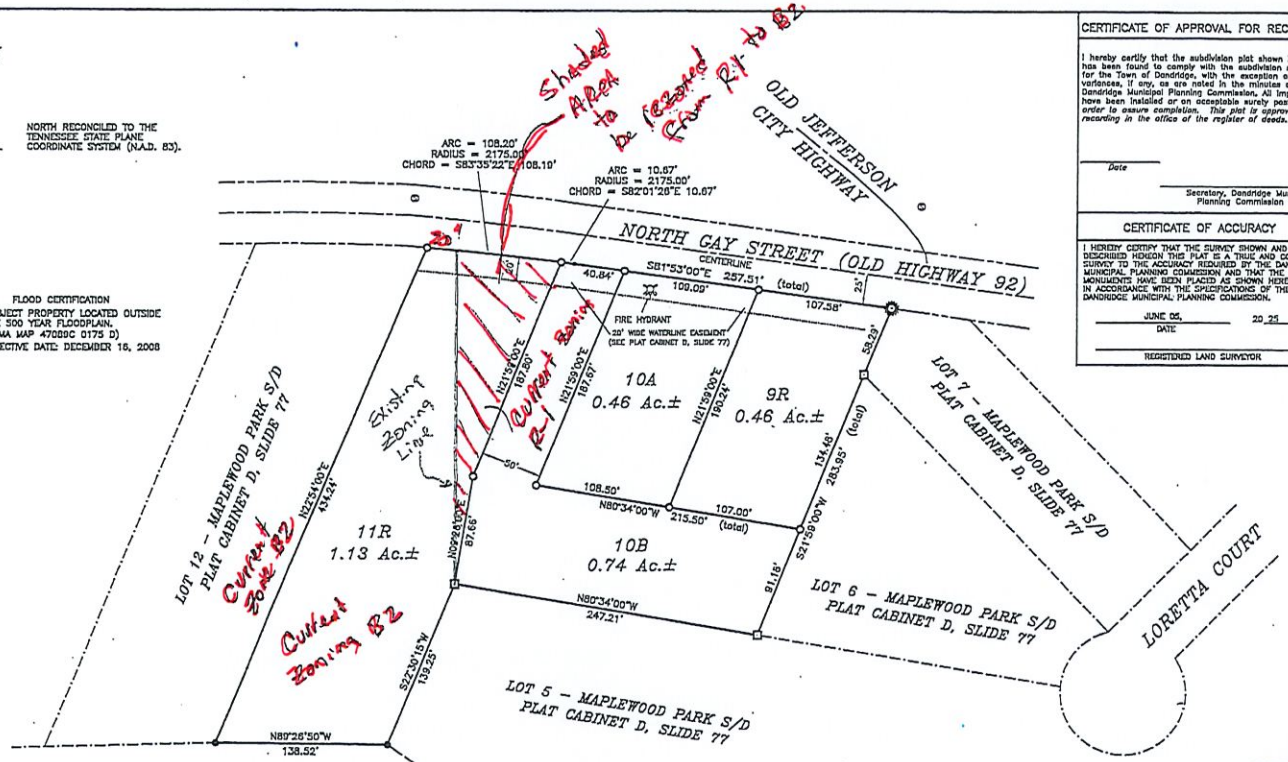
_____	Site Plan Review	$50.00
✓	Rezoning Request R1 to B2	$50.00
✓	Subdivision Plats (Preliminary/Final)	
	• 2 lots or less	$20.00
	• 3-5 lots	$30.00
	• 6-15 lots	$60.00
	• 16-30 lots	$70.00
	• 31-50 lots	$80.00
	• 50+ lots	$100.00
_____	Annexation	$25.00
_____	Board of Zoning Appeals (Explanation)	$50.00
_____	Point(s) of Clarification	No Fee

Total amount of fees paid: $ 80.00 Receipt Number: 24390

N

NORTH RECONCILED TO THE TENNESSEE STATE PLANE COORDINATE SYSTEM (N.A.D. 83).

FLOOD CERTIFICATION
SUBJECT PROPERTY LOCATED OUTSIDE THE 500 YEAR FLOODPLAIN.
(FEMA MAP 47089C 0175 D)
EFFECTIVE DATE: DECEMBER 16, 2008



LEGEND

- 3/8" IRON PIN (found)
- 1/2" IRON PIN W/AZIMUTH CAP (set this survey)
- POINT
- 1.5" ANGLE IRON FENCE POST
- 12" BLACKGUM TREE
- SANITARY SEWER MANHOLE

ADDRESS OF SUBJECT PROPERTY
NORTH GAY STREET
DANDRIDGE, TN 37725

0' 60' 120' 180'

GENERAL NOTES:

1.) SETBACKS SHALL CONFORM TO TOWN OF DANDRIDGE ZONING ORDINANCE.
2.) CURRENT ZONING IS R-1
3.) MINIMUM BUILDING SETBACKS ARE:
FRONT: 30'
SIDES: 15'
REAR: 20'
HEIGHT: 35'

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the subdivision regulations for the Town of Dandridge, with the exception of such variances, if any, as are noted in the minutes of the Dandridge Municipal Planning Commission. All improvements have been installed or an acceptable surety posted in order to assure completion. This plat is approved for recording in the office of the register of deeds.

Date

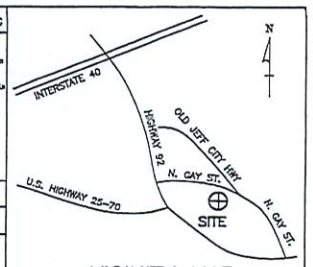
Secretary, Dandridge Municipal Planning Commission

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE SURVEY SHOWN AND DESCRIBED HEREON THIS PLAT IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE DANDRIDGE MUNICIPAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DANDRIDGE MUNICIPAL PLANNING COMMISSION.

JUNE 05, 20 25
DATE

REGISTERED LAND SURVEYOR



VICINITY MAP
(NOT TO SCALE)

THIS PROPERTY SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER WRITTEN OR UNWRITTEN.

THIS RTK GNSS SURVEY WAS PERFORMED USING CARLSON BRx7 DUAL FREQUENCY RECEIVERS. THE GEOID MODEL USED IS GEOID18 BASED ON AN OPUS SOLUTION AND THE COMBINED GRID FACTOR IS 0.999905. ALL DISTANCES ARE REFERENCED TO GROUND. THE PRECISION OF THE MEASUREMENTS DOES NOT EXCEED 0.00'.

I CERTIFY THAT THE INFORMATION FOR AND ON THIS PLAT WAS OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED TO CATEGORY V STANDARDS UNDER MY SUPERVISION AND DIRECTION.

DANIEL R. COFFEY
REGISTERED LAND SURVEYOR
AGRICULTURAL
COMMERCIAL
ON 06/05/2025
TENNESSEE NO. 1578

TAX REF.: TAX MAP 68-J, GROUP D, PARCELS 9, 10, & 11
DEED REF.: D.B. 1870 PG. 27
PLAT REF.: PLAT CABINET D, SLIDE 77

RESERVED FOR REGISTER OF DEEDS

RE-PLAT OF LOTS 9-11 MAPLEWOOD PARK

(DIVISION OF THE V & P DEVELOPERS, Inc. PROPERTY)

1ST CIVIL DISTRICT JEFFERSON CO.,TN

AZIMUTH ENGINEERING, INC.
Engineers · Surveyors · Planners
P.O. BOX 1466 GREENEVILLE, TN 37744 (423) 638-9191

SCALE: 1"=60'	DATE: 06/05/2025
JOB NO. 25SU025	DRAWN BY CAD: ADO
FILE LOC. NET	FILE NAME. 25SU025

CERTIFICATE OF OWNERSHIP AND DEDICATION

I(WE) HEREBY CERTIFY THAT I AM(WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I(WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY(OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

OWNER DATE

CERTIFICATION OF STREETS

I certify that the streets and related appurtenances installed, or proposed for installation along with the financial guarantee provided, fully meet the specifications established by the Dandridge Municipal Planning Commission.

Date

Authorized Representative of Town

CERTIFICATE OF THE APPROVAL OF THE PUBLIC WATER SYSTEMS

I certify that the water system installed, or proposed for installation along with the financial guarantee provided, fully meets requirements of the State of Tennessee.

Date

Authorized Representative of Utility Provider

CERTIFICATE OF SEWERAGE SYSTEM

I certify that the sewage disposal system installed, or proposed for installation along with the financial guarantee provided, fully meets requirements of the State of Tennessee and is approved as shown with all restrictions/conditions as noted.

Date

Authorized Representative of Utility Provider

CERTIFICATE OF THE APPROVAL OF STREET NAMES

I certify that the street names on this plat have been reviewed and are acceptable in accordance with the policies of the Jefferson County Communications District.

Date

Authorized Representative of the Jefferson County Communications District

DANDRIDGE MUNICIPAL PLANNING COMMISSION

TOTAL ACRES 2.79 ± TOTAL LOTS 4

ACRES NEW ROAD 0.00 MILES NEW ROAD 0.00

DEVELOPER V & P DEVELOPERS, Inc. CIVIL DISTRICT 1ST

SURVEYOR AZIMUTH ENGINEERING CLOSURE ERROR 1/10,000

N

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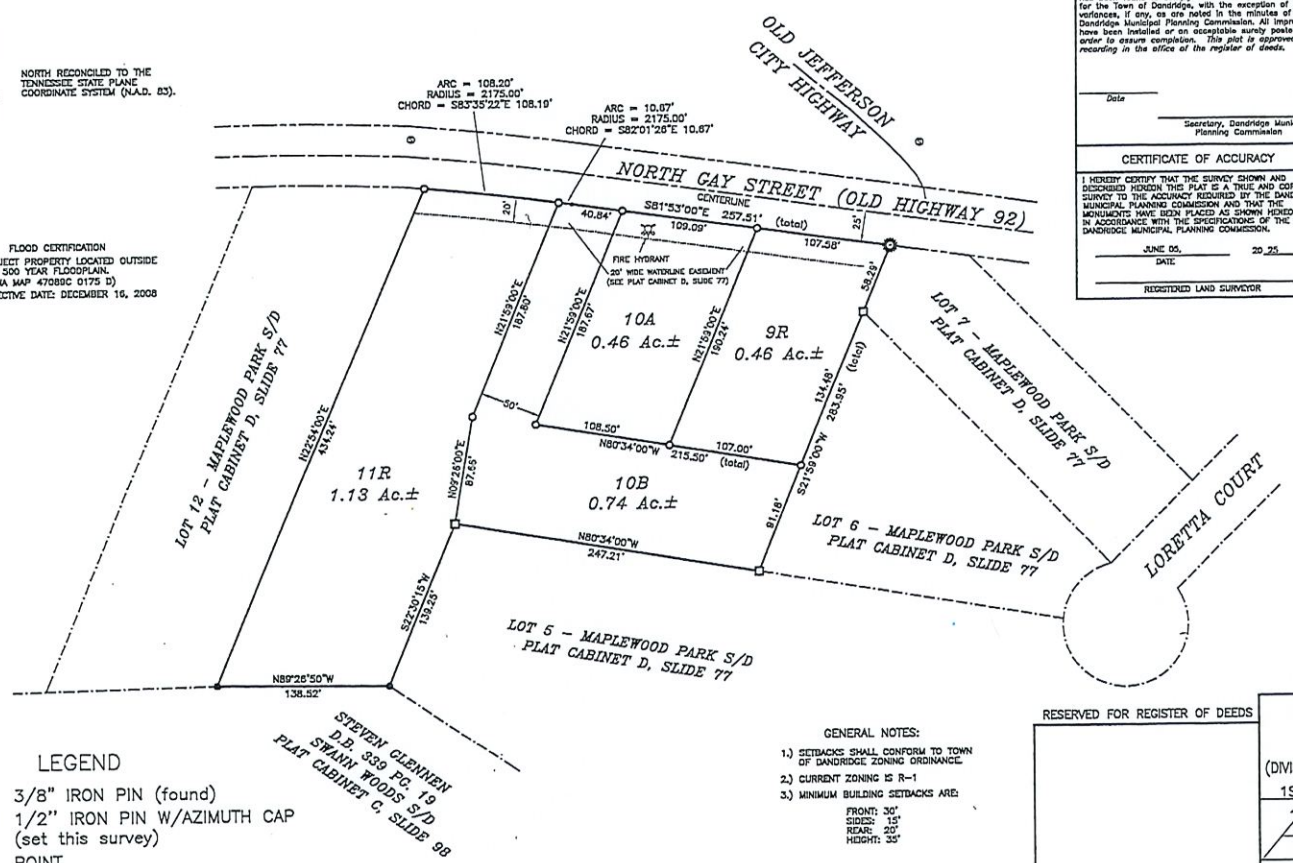

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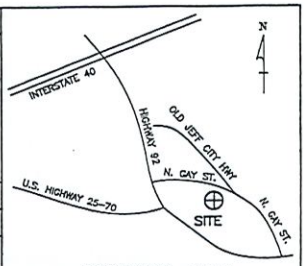

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DANIEL R. COFFEY
REGISTERED LAND SURVEYOR
XVI
AGRICULTURE
ON 1/15/2025
COMMERCE
TENNESSEE NO. 1578

TAX REF.: TAX MAP 68-J, GROUP D, PARCELS 9, 10, & 11
DEED REF.: D.B. 1870 PG. 27
PLAT REF.: PLAT CABINET D, SLIDE 77

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DANDRIDGE, TN 37725

0' 60' 120' 180'

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DANDRIDGE MUNICIPAL PLANNING COMMISSION

TOTAL ACRES 2.79 ± TOTAL LOTS 4

ACRES NEW ROAD 0.00 MILES NEW ROAD 0.00

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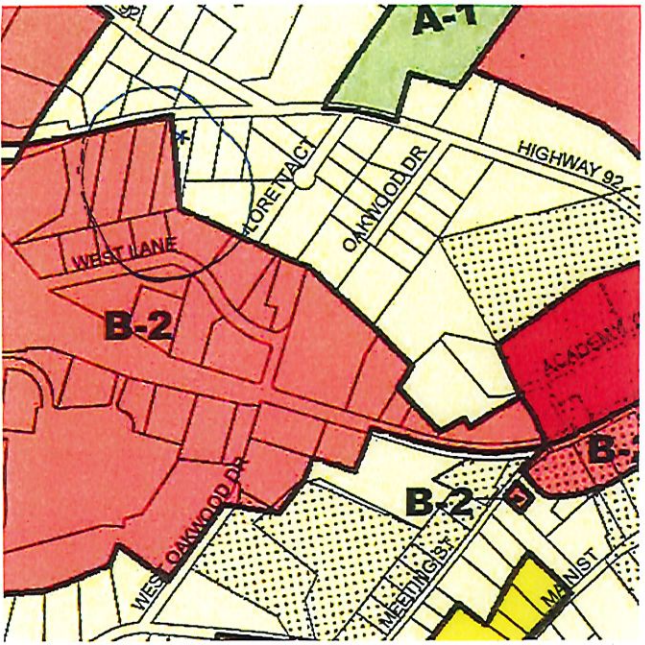
SURVEYOR AZIMUTH ENGINEERING CLOSURE ERROR 1/10,000


A-1
HIGHWAY 92
LORETTA CT
OAKWOOD DR
WEST LANE
B-2
B-2
WEST OAKWOOD DR
MEEDING ST
MAIN ST

Growth Boundary

TOWN OF DANDRIDGE REGIONAL PLANNING COMMISSION
REQUEST FORM

Presenter: David Cate + Josh Cate Date: 5-20-2025

Property Owner(s): David Cate

Property Address: Green Hill Road

(House#, Street Name, Subdivision Name if applicable)

Map and Parcel Number(s): 067-037.00

Phone Number(s)_____ or_____

(Please list number where you can be reached during the day)

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Special Note: According to the Tennessee Coded Annotated (T.C.A) all subdivision plats (in areas without city sewer/water services) presented to the Town of Dandridge's Planning Commission are required by law to have the signature of the Jefferson County Health Department representative prior to **FINAL PLAT** submission.

_____	Site Plan Review	$50.00
_____	Rezoning Request_____ to_____	$50.00
✓	Subdivision Plats (Preliminary/Final)	
	• 2 lots or less	$20.00
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	• 6-15 lots	$60.00
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	• 50+ lots	$100.00
_____	Annexation	$25.00
_____	Board of Zoning Appeals (Explanation)	$50.00
_____	Point(s) of Clarification	No Fee

Total amount of fees paid:_____ Receipt Number:_____

PRELIMINARY PLAT

CERTIFICATE OF OWNERSHIP AND DEDICATION

IS IS TO CERTIFY THAT THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON HAVE THEIR PLAT PREPARED AND ADOPTED THE SAME, ALL STREETS, ALLEYS, PARKS, PLACES AND PUBLIC WAYS AND OPEN SPACES TO PUBLIC USE AS NOTED. DATE

OWNER

OWNER

APPROVAL IS HEREBY GRANTED FOR LOT(S) _____ BEING IN

GRAPHIC TOPOGRAPHY IN ACCORDANCE WITH THE LATEST OF TOPOGRAPHY REFERENCES, PRIOR TO ANY CONSTRUCTION OF A BUILDING, MOBILE HOME OR MANUFACTURED HOME ON THE LOT(S) HEREIN REFERENCED, THE OWNER OF SUCH LOT(S) SHALL SUBMIT TO THE SUBDIVISION REGULATION ADMINISTRATOR A PLOT PLAN PREPARED BY A REGISTERED ENGINEER OR LICENSED LAND SURVEYOR, SHOWING THE LOCATION OF THE BUILDING(S) AND OTHER PLANS OR ELEVATIONS AS MAY BE REQUIRED BY THE ENGINEER OR SURVEYOR.

DATE

SUBDIVISION ADMINISTRATOR, DIVISION OF GROUND WATER PROTECTION

CERTIFICATION OF APPROVAL OF WATER SYSTEMS

I CERTIFY THAT THE WATER SYSTEMS INSTALLED, OR PROPOSED FOR INSTALLATION FULLY MEET REQUIREMENTS OF THE TENNESSEE STATE HEALTH DEPARTMENT, AND IS HEREBY APPROVED SUBJECT TO

DATE _____ 19__

AUTHORIZED REPRESENTATIVE

CERTIFICATION OF STREETS

CERTIFY THAT STREETS AND RELATED APPURTENANCES INSTALLED, OR PROPOSED FOR INSTALLATION, FULLY MEET THE SPECIFICATIONS ESTABLISHED BY THE REGIONAL PLANNING COMMISSION.

DATE:_____

DIR./HIGHWAY COMMISSION

CERTIFICATION OF STREET NAMES

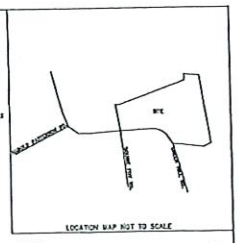
I CERTIFY THAT STREET NAMES ARE IN COMPLIANCE WITH E-911 AND DO NOT CONFLICT WITH OTHER STREET NAMES IN THE COUNTY. DATE

DATE

E-911 REPRESENTATIVE

LEGEND

- IP Iron Pin
- (F) Found
- (S) Set
- POB Point of Beginning
- PP Electric Pole
- HYD Water Hydrant
- OVER LINE MARKERS
- BURIED ELECTRIC MARKERS



LOCATION MAP NOT TO SCALE

NOTES:

NEW 1/2" IRON PINS SET ON ALL CORNERS UNLESS OTHERWISE NOTED.

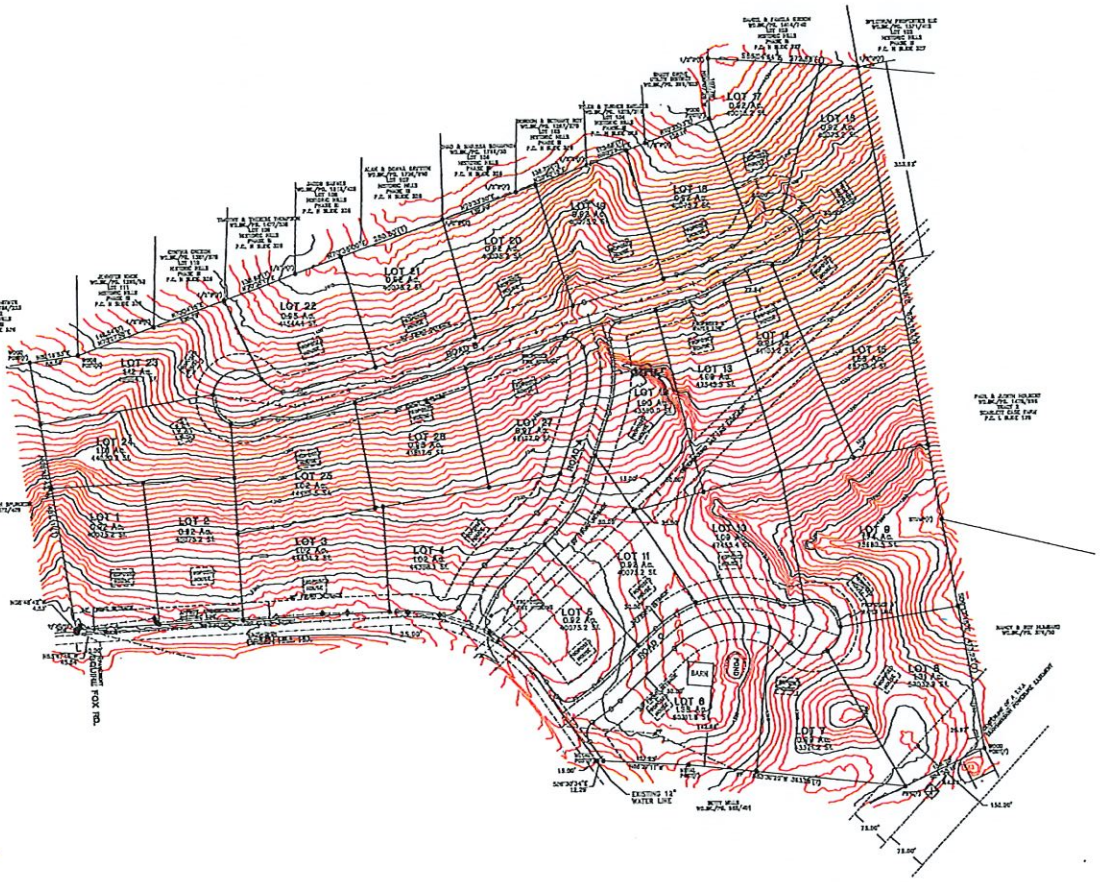
UTILITY & DRAINAGE EASEMENTS: 10' EACH SIDE OF ALL LINES.

BUILDING SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'

PROPERTY CONSISTS OF 27 LOTS WITH A TOTAL AREA OF 18.39 ACRES.

PROPERTY OWNERS:
DAVID R. GATE
1574 DEEP SPRINGS RD.
SANDRIDGE, TN. 37725

Tn. State Grid



CERTIFICATION OF APPROVAL FOR RECORDING

I CERTIFY THAT THIS PLAT HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE PLANNING REGION, WITH THE EXCEPTION OF BLOCK VARIANCES, IF ANY, WHICH ARE NOTED. ALL IMPROVEMENTS HAVE BEEN INSTALLED, OR AN ACCEPTABLE SURETY POSTED AS BONDS TO ASSURE COMPLETION. THIS LOT IS APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
DATE:

SECRETARY, REGIONAL PLANNING COMMISSION

CERTIFICATION OF ELECTRIC LINES

I CERTIFY THAT ELECTRIC LINES ARE INSTALLED NOW THE PROCEDURE OF THE ENTIRETY OF SAID SUBDIVISION. INSTALLATION OF ELECTRIC LINES WITHIN SAID SUBDIVISION HAS BEEN COMPLETED WITHIN THE FOLLOWING REQUIREMENTS HAVE BEEN MET: (1) THE COOPERATIVE MUST BE FURNISHED A FINAL PLAT, (2) PROVIDE OF AN AS-TO-CONSTRUCTION PLAN HAS BEEN RECEIVED, (3) ALL RIGHT-OF-WAYS HAVE BEEN CLEARED AND CLEANED, AND (4) ALL OTHER EXTENSION REQUIREMENTS AND SPECIFICATIONS AS ESTABLISHED BY THE POLICIES OF THE COOPERATIVE HAVE BEEN MET.

DATE:

APPALACHIAN ELECTRIC COOP REPRESENTATIVE

CERTIFICATION OF ACCURACY

I CERTIFY THAT THE PLAT REFERRED HEREON, IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE REGIONAL PLANNING COMMISSION AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE REGIONAL PLANNING COMMISSION.

DATE OF SURVEY AUGUST 2014

EDDY R. GATES, TENNESSEE CERTIFICATE NO. 1544

EDDY R. GATES
REGISTERED
LAND SURVEYOR
1544
TENNESSEE U.S.A.

PRELIMINARY PLAT

0 100 200 300
GRAPHIC SCALE

EDDY R. GATES, TENNESSEE CERTIFICATE NO. 1544

FLOOD CERTIFICATION
This is to certify that I have examined the Federal Emergency Administration Flood Insurance map and found the described property is NOT located within a special flood hazard area.

CERTIFICATE OF ACCURACY AND PRECISION
I hereby certify that this is a category IV survey and the ratio of precision of the unadjusted survey is 1:10,000 or greater as shown hereon and that this survey was performed in compliance with current Tennessee Minimum Standards of Practice.

Pole or Bolt of this survey was performed using a CELSIUS 2000 DIGITAL PRECISION BUILDER.
Perform Angular Observations Accuracy: Direct Angle which has a 0.01 half precision that has Example Network Data/Check Network: 0.02 (d) Network: 0.02
Adjusted Total control error: 0.02 (d) Angular Network
Final Error: 0.01
Observations/Total error: 0.04

EDDY R. GATES, TENNESSEE CERTIFICATE NO. 1544

PRELIMINARY PLAT

SURVEY FOR:
CATE'S HIDE A WAY

Located within the 1st district of JEFFERSON county, Tennessee

PART OF
Tax Map/Group/Parcel 047-/-047.00 Deed Ref. Bk/Pg 130/271

Overlay Zone: Tn. State Grid

GARRETT
ASSOCIATES

EDDY R. GARRETT, RLS#1544
4838 SPACT RD., TENNESSEE PLANE, TN 37725
PHONE: (865)-933-3410 FAX: (865)-933-1272
EMAIL: GARRETTASSOCIATES@AOL.COM

LAND SURVEYORS

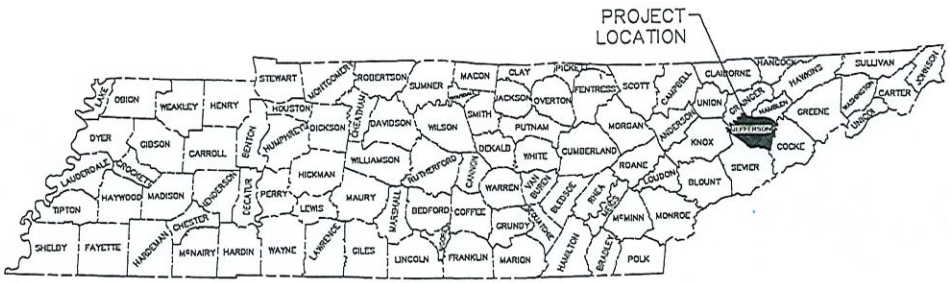
DATE 4/21/2014
REVISIONS
DRAWN BY: EGA

SCALE 1" = 100'
DRAWING NO. 24-184

CATE'S HIDE A WAY

SUBDIVISION DRAINAGE AND UTILITY PLAN

JEFFERSON COUNTY, TENNESSEE



OWNER

DAVID R. CATE
1574 DEEP SPRINGS ROAD
DANDRIDGE, TN 37725

CERTIFICATION OF THE APPROVAL OF WATER SYSTEM

I HEREBY CERTIFY THAT THE WATER SYSTEM PROPOSED FULLY MEETS THE REQUIREMENTS OF THE SHADY GROVE UTILITY DISTRICT AND IS HEREBY APPROVED.

APPROVED BY: SHADY GROVE UTILITY DISTRICT

DATE:

Index to Drawings

SHEET No.	LATEST SHEET TITLE	ISSUE DATE	LATEST REVISION DATE
C-0	COVER SHEET	03/03/2025	
C-1.0	OVERALL SITE DEVELOPMENT PLAN	03/03/2025	
C-1.1	EXISTING AND PROPOSED CONDITIONS PLAN WEST	03/03/2025	
C-1.2	EXISTING AND PROPOSED CONDITIONS PLAN NORTHEAST	03/03/2025	
C-1.3	EXISTING AND PROPOSED CONDITIONS PLAN SOUTHEAST	03/03/2025	
C-2.0	ROAD A PLAN AND PROFILE SHEET STATION 0+00 TO STATION 8+48	03/03/2025	
C-2.1	ROAD B PLAN AND PROFILE SHEET STATION 0+00 TO STATION 11+21	03/03/2025	
C-2.2	ROAD C PLAN AND PROFILE SHEET STATION 0+00 TO STATION 8+35	03/03/2025	
C-3.0	SITE SEDIMENTATION AND EROSION CONTROL PLAN WEST	03/03/2025	
C-3.1	SITE SEDIMENTATION AND EROSION CONTROL PLAN NORTHEAST	03/03/2025	
C-3.2	SITE SEDIMENTATION AND EROSION CONTROL PLAN SOUTHEAST	03/03/2025	
C-3.3	STORM WATER POLLUTION PROTECTION PLAN SPECIFICATIONS	03/03/2025	
C-3.4	SITE SEDIMENTATION AND EROSION RAINFALL & INCIDENT REPORT	03/03/2025	
C-4.0	WATER MAIN AND ROAD CONSTRUCTION DETAILS	03/03/2025	
C-4.1	STORM SEWER CONSTRUCTION DETAILS	03/03/2025	
C-4.2	EROSION CONTROL DETAIL SHEET	03/03/2025	

List of Project Contacts

PROJECT ENGINEER	TELEPHONE	PUBLIC WORKS (WATER)	PUBLIC WORKS (SEWER)	ELECTRIC COMPANY	GAS COMPANY	PLANNING COMMISSION	CITY BUILDING OFFICE
HATFIELD & ALLEN ASSOCIATES (865) 388-5031 CONTACT: MATTHEW HATFIELD, P.E. 775 RANDLES ROAD STRAWBERRY PLAINS, TN 37871	AT&T COMMUNICATIONS 811	SHADY GROVE UTILITY DISTRICT (865) 397-3790 CONTACT: MIKE JONES, MANAGER 830 TN-139 DANDRIDGE, TN 37725	JEFFERSON COUNTY HEALTH DEPARTMENT (865) 397-3930 CONTACT: TOMMY BIBLE, MANAGER 122 HIGHWAY 25E NEWPORT, TN 37821	APPALACHIAN ELECTRIC CO-OP (865) 828-5225 CONTACT: ADAM NEWCOMB, DIRECTOR P.O. BOX 400 NEW MARKET, TN 37820	JEFFERSON – COCKE COUNTY UTILITY 243 E. BROADWAY BLVD. CONTACT: DANNY BARDING (423) 475-7911	NOT APPLICABLE	NOT APPLICABLE

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HATFIELD & ALLEN ASSOCIATES
ENGINEERING & PLANNING
775 RANDLES ROAD
STRAWBERRY PLAINS, TN 37871
PHONE: (865) 388-5031

CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

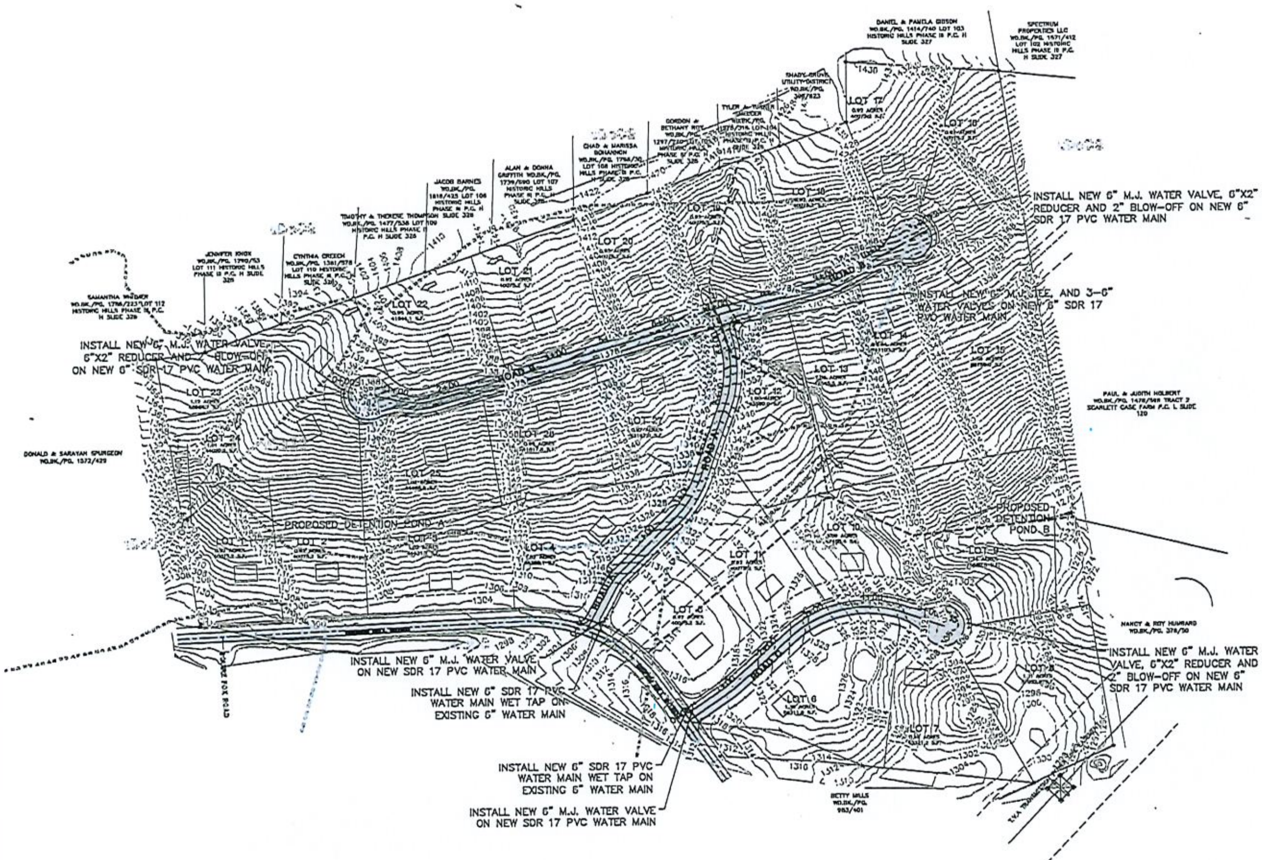
REVISION HISTORY

PROJ NO. = 25-109
DWG FILE = 25-109 C-0
ISSUE DATE = 03/03/2025

CATE'S HIDE A WAY

COVER SHEET

SHEET NUMBER
C-0



GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

CONTRACTOR NOTES:

1. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS IS APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY CONTACTING THE SHADY GROVE UTILITY DISTRICT (865) 937-3790.
2. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL THE WATER LINES AND RELATED ACCESSORIES IN ACCORDANCE WITH THE CURRENT STATE AND THE SHADY GROVE UTILITY DISTRICT REGULATIONS AND SPECIFICATIONS.
4. THE MEANS AND METHODS OF CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING EMPLOYEE AND PUBLIC SAFETY THROUGHOUT ALL PHASES OF CONSTRUCTION. HATFIELD & ALLEN, ASSOCIATES ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY OR FOR IMPLEMENTATION OF CONSTRUCTION SAFETY.
5. PROPERTY LINES, RIGHT OF WAY LINES AND EASEMENTS SHOWN HAVE BEEN TAKEN FROM A SURVEY FOR DAVID CATE, DRAWING NUMBER 24-184, DATED AUGUST 21, 2024 AND A PRELIMINARY PLAT FOR CATE'S HIDE A WAY, DRAWING NUMBER 24-184, DATED AUGUST 21, 2024.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR REPLACING ALL DRIVEWAYS, FENCES, AND LANDSCAPING TO THE SATISFACTION OF THE SHADY GROVE UTILITY DISTRICT.
7. ALL PIPE SHALL BE SDR-17 PVC AS INDICATED ON DRAWINGS.
8. NO. 10 COPPER WIRE WITH SOLID PLASTIC COATING SHALL BE INSTALLED IN ALL TRENCHES 1' - FOOT ABOVE BURIED PIPE AND STUBBED UP AT ALL GATE VALVE LOCATIONS.
9. GATE VALVES SHALL MEET AWWA C509 NON-RISING STEM (NRS), O-RING STEM SEAL, COUNTER-CLOCKWISE OPENING AS VIEWED FROM THE TOP.
10. THE CONTRACTOR SHALL READ AND FOLLOW ALL SPECIFICATIONS ON SHEET C-2.0 OF THIS PLAN SET AND THE SPECIFICATION BOOK PRIOR TO BEGINNING WORK ON THIS PROJECT.

SITE DATA:

OVERALL SITE AREA:	1,361,592 S.F.	31.26 ACRES	100%
SITE IMPROVEMENTS			
PROPOSED ROADWAY	64,098 S.F.	1.47 ACRES	4.7%
PROPOSED RESIDENCES (27 @ 1,200SF)	32,400 S.F.	0.74 ACRES	2.4%
PROPOSED DRIVEWAYS (27 @ 820SF)	22,140 S.F.	0.51 ACRES	1.6%
TOTAL SITE IMPROVEMENTS	118,638 S.F.	2.72 ACRES	8.7%

SITE SOILS:

MAP SYMBOL	SOIL TYPE	SITE AREA
No,	Nolin silt loam, occasionally flooded,	0.8
uDeC2,	Dewey-Collegedale complex, 6 to 15 percent slopes, moderately eroded,	5.1
uDeD3,	Dewey-Collegedale complex, 15 to 25 percent slopes, severely eroded,	7.5
uDeE3,	Dewey-Collegedale complex, 25 to 40 percent slopes, severely eroded,	10.7

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-1.0
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

OVERALL SITE DEVELOPMENT PLAN

SHEET NUMBER
C-1.0

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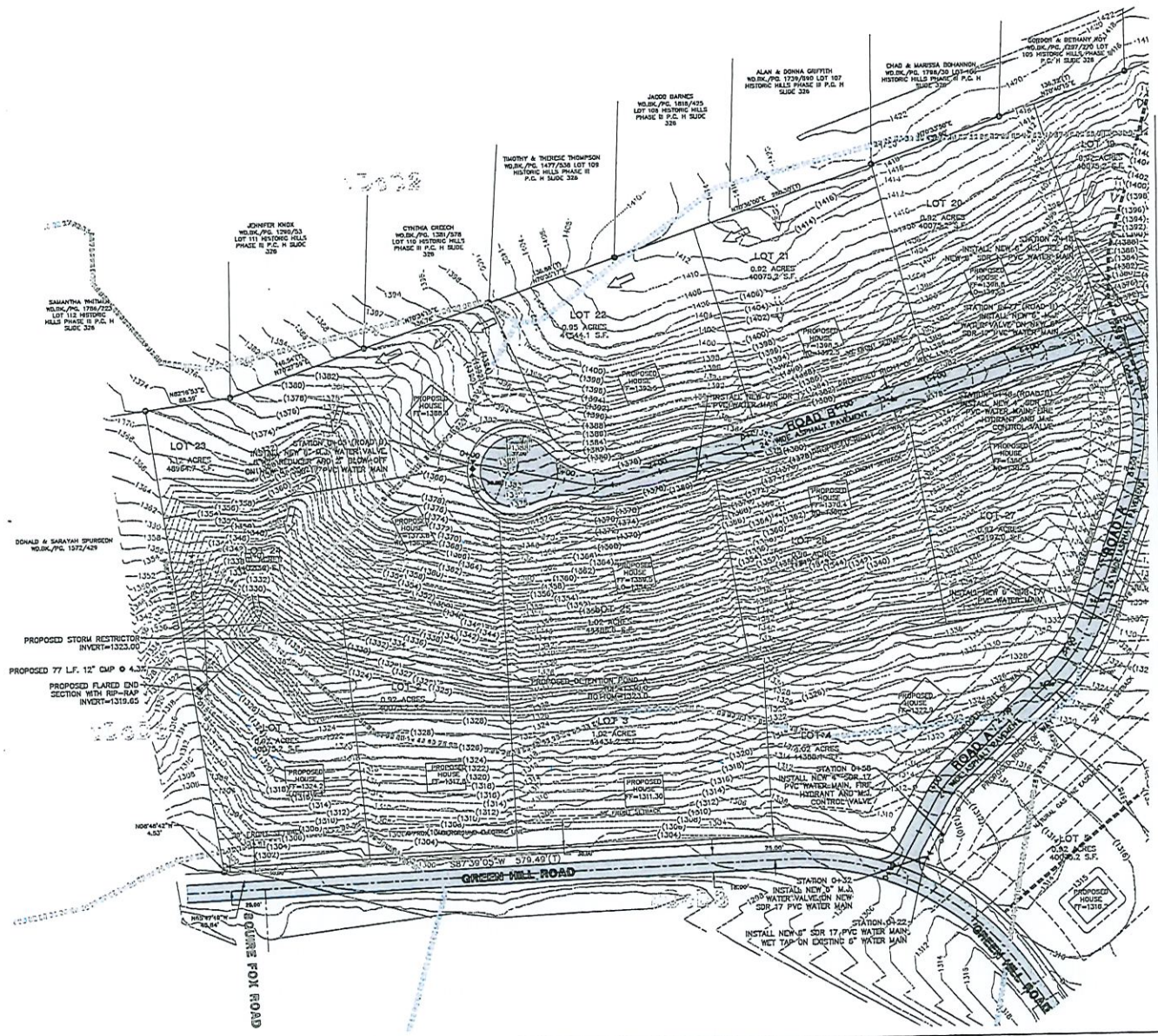

GRAPHIC SCALE

(IN FEET)
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EXISTING DRAINAGE ROUTE

PROPOSED DRAINAGE ROUTE

HATFIELD & ALLEN ASSOCIATES
ENGINEERING & PLANNING
775 RANDLES ROAD
STRAWBERRY PLAINS, TN 37871
PHONE: (865) 388-5031

CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
13 25-109 bond-d
39 25-109 base
39
43
59

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-1.1
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

EXISTING AND PROPOSED CONDITIONS PLAN WEST

SHEET NUMBER
C-1.1

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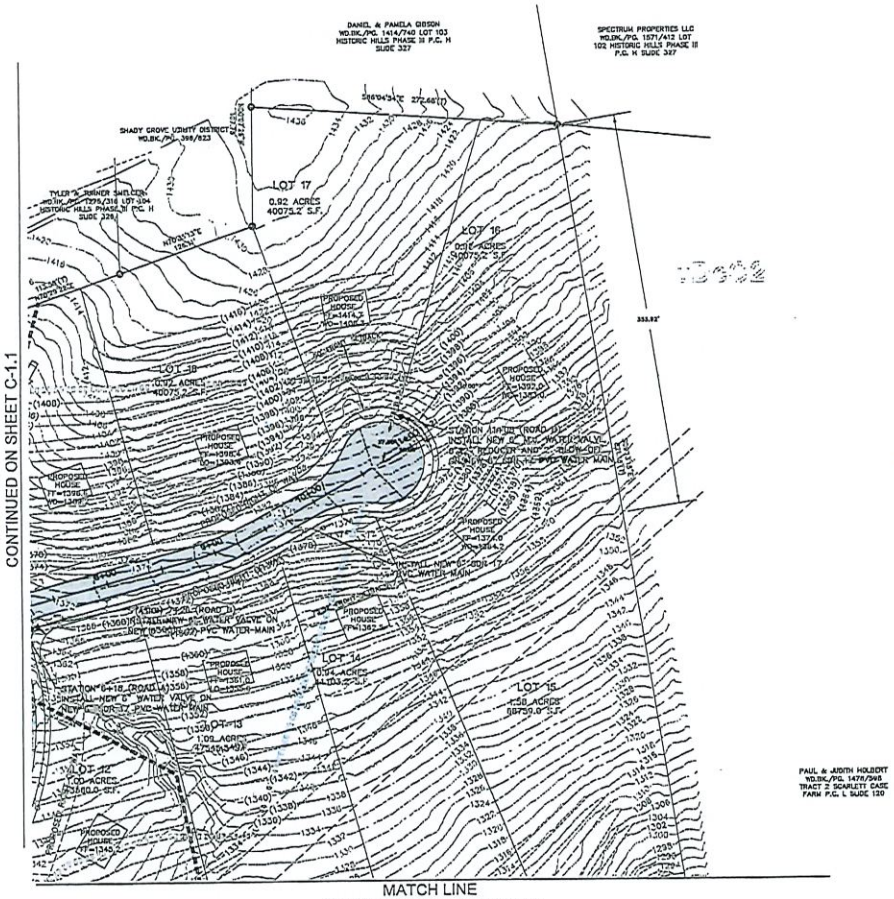

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE
AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1 25-109 bord-d
2 25-109 Base
3
4
5

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 23-109 C-1.2
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

OVERALL EXISTING
AND PROPOSED
CONDITIONS PLAN
NORTHEAST

SHEET NUMBER
C-1.2

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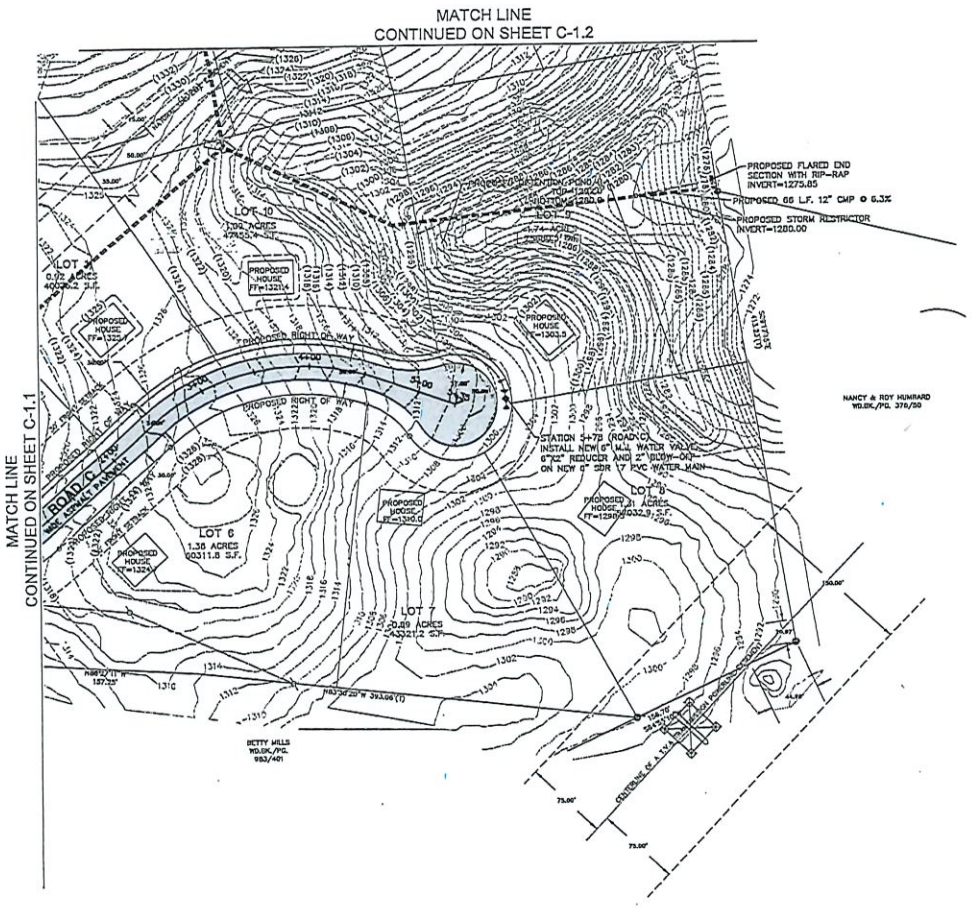

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⇒ EXISTING DRAINAGE ROUTE

⇨ PROPOSED DRAINAGE ROUTE

HATFIELD & ALLEN
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PHONE: (865) 388-5031

CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1> 25-109 bent-d
2> 25-109 base
3>
4>
5>

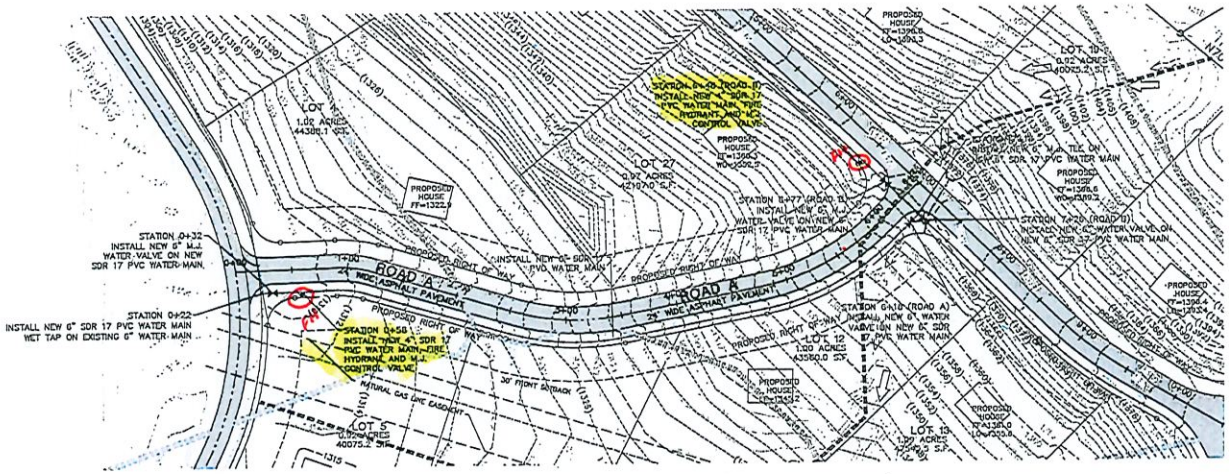
REVISION HISTORY

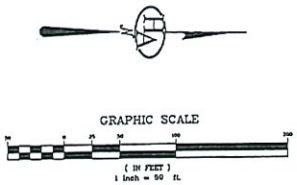
PROJ NO. • 25-109
DWG FILE • 23-109 C-1.3
ISSUE DATE • 05/05/2025

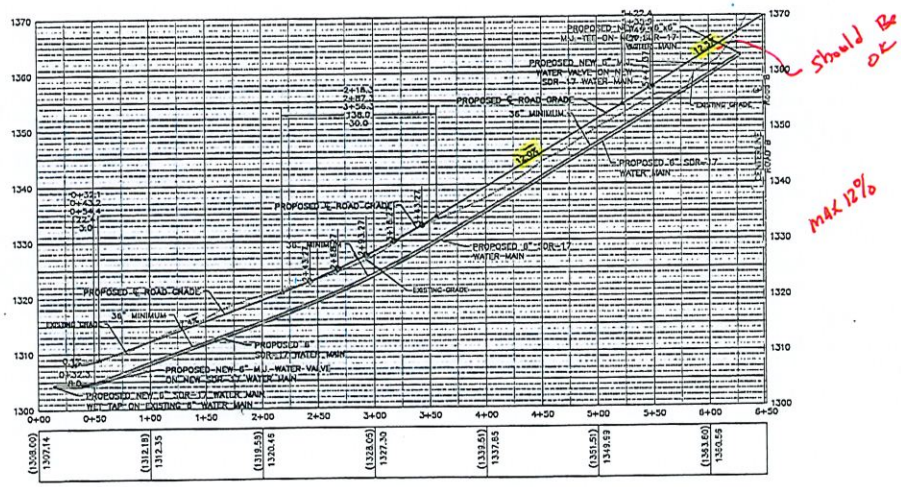
CATE'S HIDE A WAY

OVERALL EXISTING AND PROPOSED CONDITIONS PLAN SOUTHEAST

SHEET NUMBER
C-1.3







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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS	
13	25-109 bord-d
29	25-109 base
30	
43	
50	

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 23-141 C-2.0
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

ROAD A
STATION 0+00
TO
STATION 6+48

SHEET NUMBER
C-2.0

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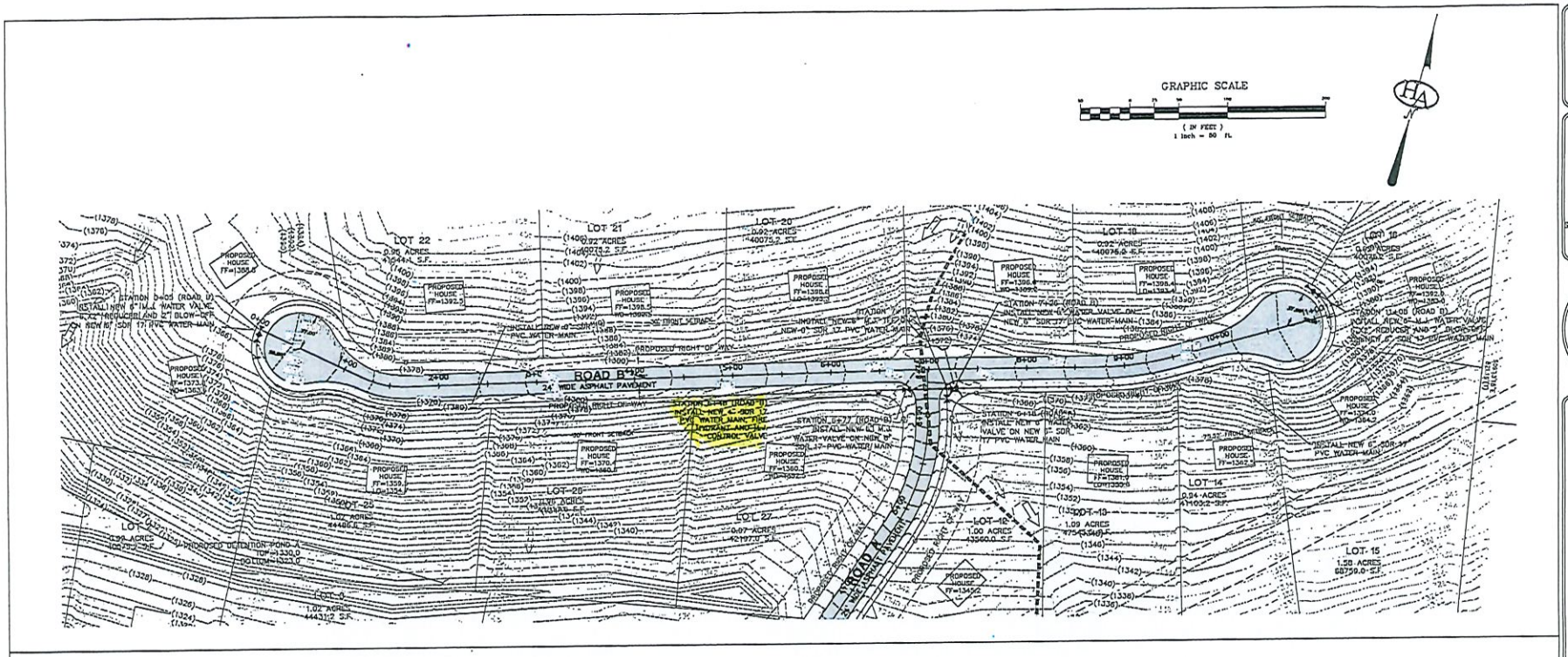

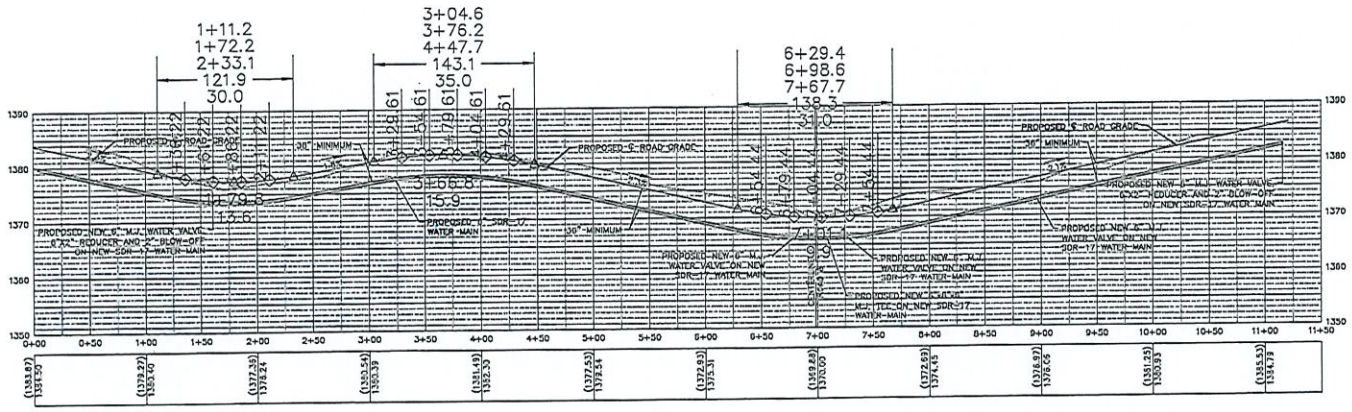

SCALES
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
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2) 25-109 base
3)
4)
5)

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 23-141 C-2.1
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

ROAD B
STATION 0+00
TO
STATION 11+21

SHEET NUMBER
C-2.1

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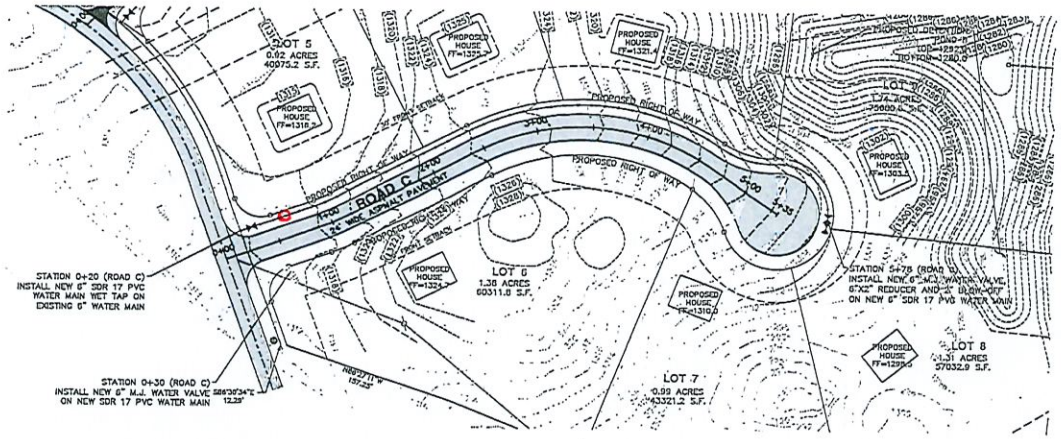

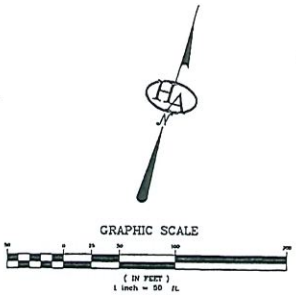

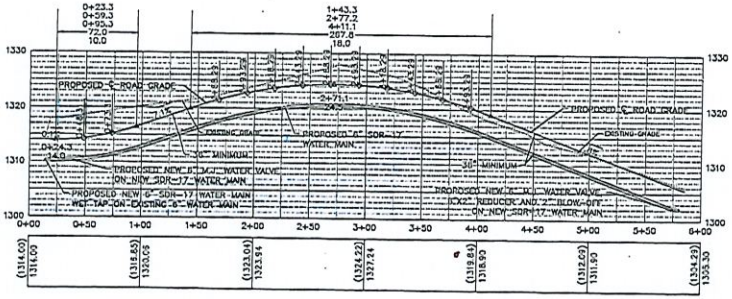

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
13 25-109 hard-d
P 25-109 Base
33
47
59

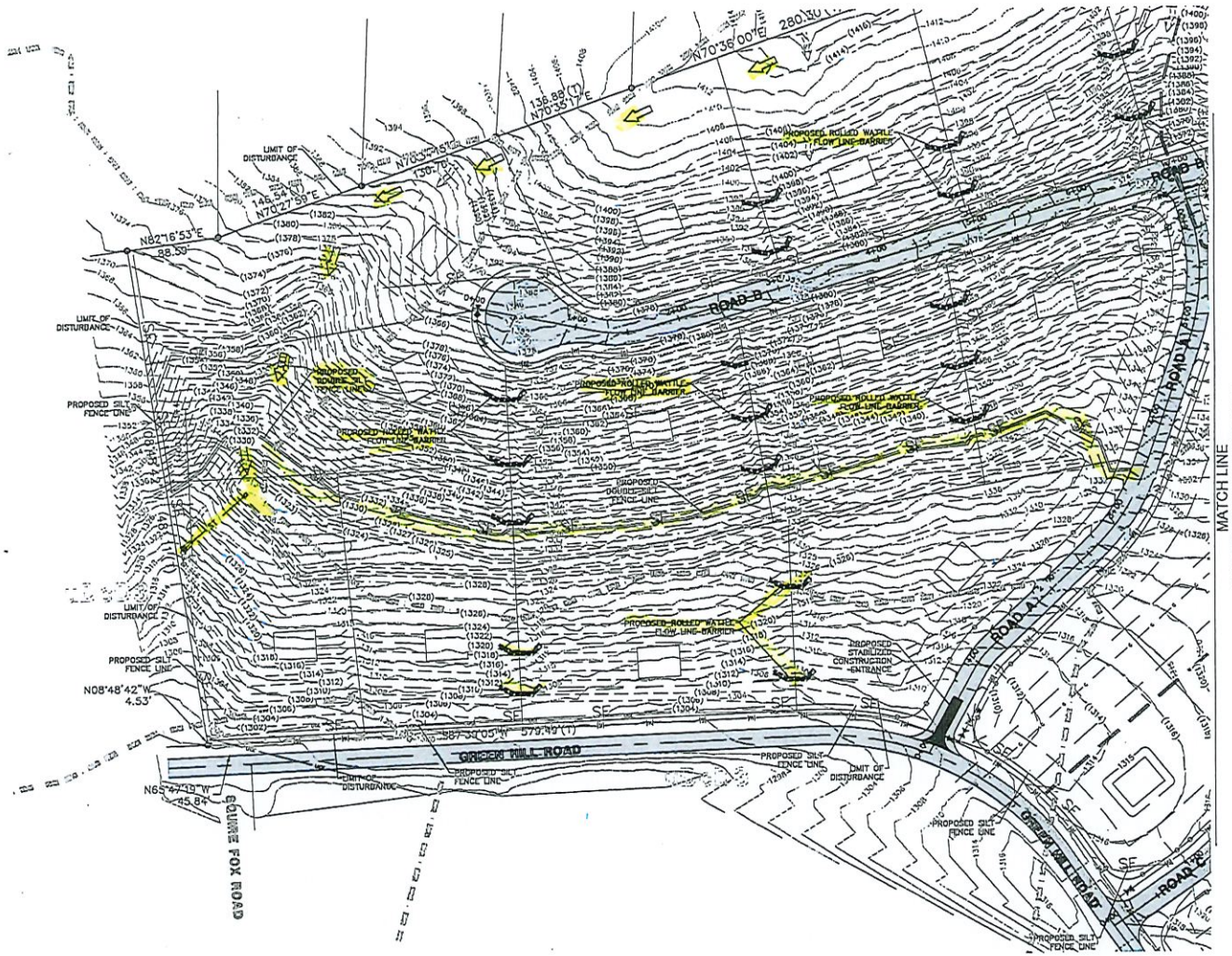
REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-2.2
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

ROAD C
STATION 0+00
TO
STATION 5+35

SHEET NUMBER
C-2.2



NOTES:

1. ALL SITE GRADING SHALL CONFORM TO THE EXISTING SWPPP ON FILE.
2. SEE SHEET C-1.0 THROUGH C-1.2 FOR SITE PLAN.
3. SEE SHEET C-3.4 FOR SWPPP SPECIFICATIONS.

SITE DATA:

Roads	64,698 S.F.	1.47 ACRES	4.7%
Houses (27 @ 1,200SF)	32,400 S.F.	0.74 ACRES	2.4%
Driveways (27 @ 820SF)	22,140 S.F.	0.51 ACRES	1.6%
	119,638 S.F.	2.72 ACRES	8.7%
Overall Site Area	1,361,592 S.F.	31.26 ACRES	100%

SITE SOILS:

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uDeD3,	Dewey-Collegedale complex, 15 to 25 percent slopes, severely eroded
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3:
4:
5:

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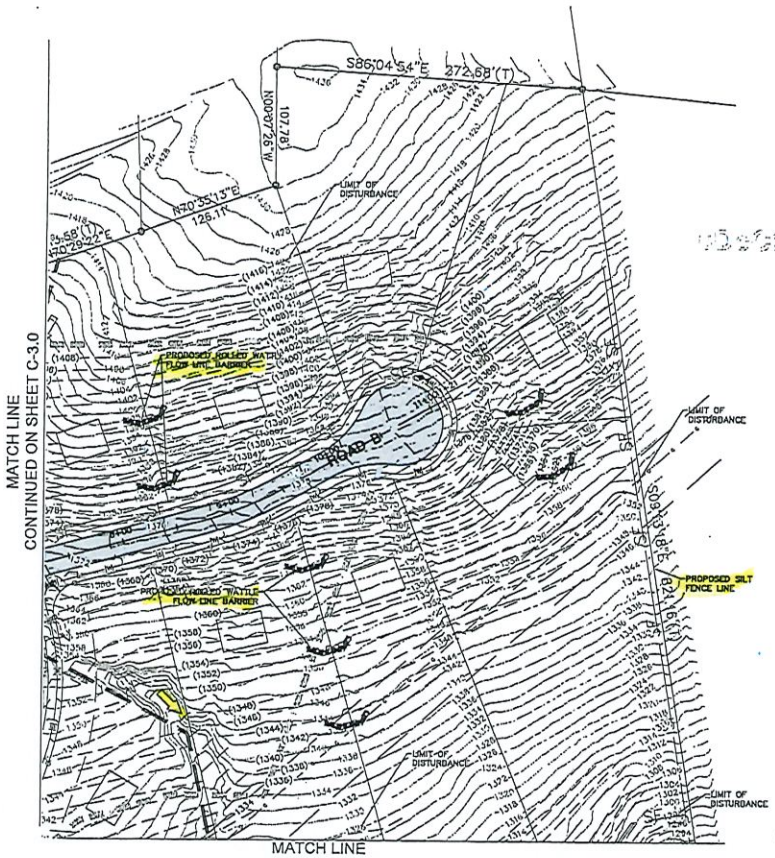
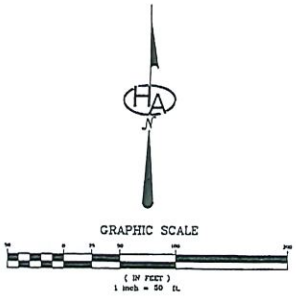
PROJ NO. • 25-109
DWG FILE • 25-109 C-3.0
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

SEDIMENTATION AND EROSION CONTROL PLAN WEST

SHEET NUMBER
C-3.0





NOTES:

1. ALL SITE GRADING SHALL CONFORM TO THE EXISTING SWPPP ON FILE.
2. SEE SHEET C-1.0 THROUGH C-1.2 FOR SITE PLAN.
3. SEE SHEET C-3.4 FOR SWPPP SPECIFICATIONS.

SITE DATA:

Roads	64,098 S.F.	1.47 ACRES	4.7%
Houses (27 @ 1,200SF)	32,400 S.F.	0.74 ACRES	2.4%
Driveways (27 @ 620SF)	22,140 S.F.	0.51 ACRES	1.6%
	118,638 S.F.	2.72 ACRES	8.7%
Overall Site Area	1,361,592 S.F.	31.26 ACRES	100%

SITE SOILS:

No.	Nolin silt loam, occasionally flooded, 0-2
uDeC2,	Dewey—Collegedale complex, 6 to 15 percent slopes, moderately eroded
uDeD3,	Dewey—Collegedale complex, 15 to 25 percent slopes, severely eroded
uDeE3,	Dewey—Collegedale complex, 25 to 40 percent slopes, severely eroded

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 Bordered
2) 25-109 Base
3)
4)
5)

REVISION HISTORY

PROJ NO. = 25-109
DWG FILE = 25-109 C-3.1
ISSUE DATE = 05/05/2025

CATE'S HIDE A WAY

SEDIMENTATION AND EROSION CONTROL PLAN NORTHEAST

SHEET NUMBER
C-3.1

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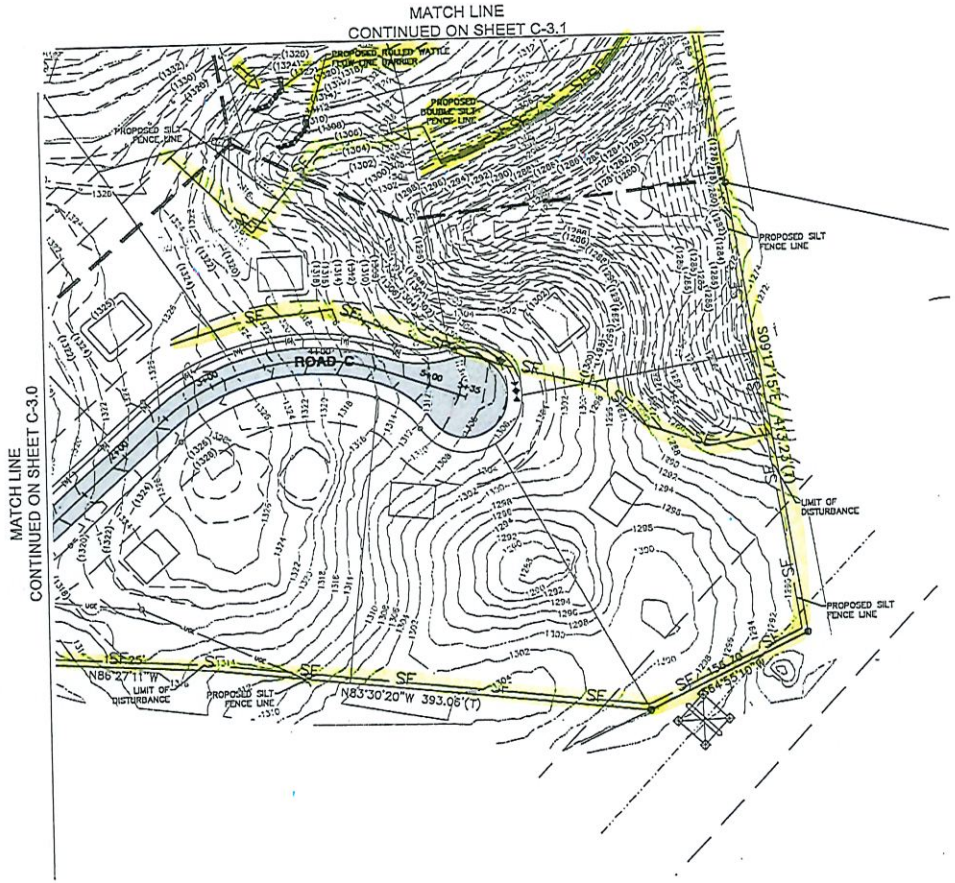

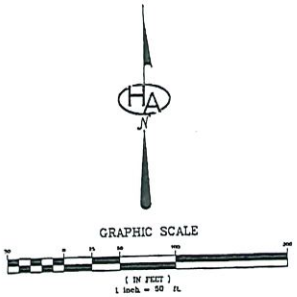

NOTES:

1. ALL SITE GRADING SHALL CONFORM TO THE EXISTING SWPPP ON FILE.
2. SEE SHEET C-1.0 THROUGH C-1.2 FOR SITE PLAN.
3. SEE SHEET C-3.4 FOR SWPPP SPECIFICATIONS.

SITE DATA:

Roads	64,096 S.F.	1.47 ACRES	4.7%
Houses (27 @ 1,200SF)	32,400 S.F.	0.74 ACRES	2.4%
Driveways (27 @ 820SF)	22,140 S.F.	0.51 ACRES	1.6%
	118,636 S.F.	2.72 ACRES	8.7%
Overall Site Area	1,361,592 S.F.	31.28 ACRES	100%

SITE SOILS:

No.	Nolin silt loam, occasionally flooded.	0.6
uDeC2,	Dewey-Collegedale complex, 6 to 15 percent slopes, moderately eroded	
uDeD3,	Dewey-Collegedale complex, 15 to 25 percent slopes, severely eroded	
uDeE3,	Dewey-Collegedale complex, 25 to 40 percent slopes, severely eroded	

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

REVISION HISTORY

PROJ NO. = 25-109
DWG FILE = 25-109 C-3.2
ISSUE DATE = 05/05/2025

CATE'S HIDE A WAY

SEDIMENTATION AND EROSION CONTROL PLAN SOUTHEAST

SHEET NUMBER
C-3.2

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STORM WATER POLLUTION PREVENTION PLAN

1. THE FOLLOWING PLAN IS ESTABLISHED AND INCORPORATED IN THE PROJECT TO DIRECT THE CONTRACTOR IN THE PLACEMENT OF TEMPORARY EROSION CONTROL SYSTEMS AND TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN FOR COMPLIANCE UNDER NPDES.

2. THE PURPOSE OF THIS PLAN IS TO MINIMIZE EROSION WITHIN THE CONSTRUCTION SITE AND TO LIMIT SEDIMENTS FROM LEAVING THE CONSTRUCTION SITE BY UTILIZING PROPER TEMPORARY EROSION CONTROL SYSTEMS AND PROVIDING GROUND COVER WITHIN A REASONABLE AMOUNT OF TIME.

3. PRIOR TO CONSTRUCTION, CERTAIN EROSION CONTROL FACILITIES SHALL BE INSTALLED BY THE CONTRACTOR. OTHER ITEMS SHALL BE INSTALLED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER ON A CASE BY CASE SITUATION DEPENDING ON THE CONTRACTOR'S SEQUENCE OF ACTIVITIES, TIME OF YEAR, AND EXPECTED WEATHER CONDITIONS.

4. THE CONTRACTOR SHALL INSTALL PERMANENT EROSION CONTROL SYSTEMS AND SEEDING WITHIN A TIME FRAME SPECIFIED HEREIN AND AS DIRECTED BY THE ENGINEER, THEREFORE MINIMIZING THE AMOUNT OF AREA SUSCEPTIBLE TO EROSION AND REDUCING THE AMOUNT OF TEMPORARY SEEDING. THE ENGINEER WILL DETERMINE IF ANY TEMPORARY EROSION CONTROL SYSTEMS SHOWN IN THE PLAN CAN BE DELETED AND IF ANY ADDITIONAL TEMPORARY EROSION CONTROL SYSTEMS, WHICH ARE NOT INCLUDED IN THIS PLAN, SHALL BE ADDED.

5. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

6. WASTE DISPOSAL SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM

7. AREAS WHERE WORK IS COMPLETE , PERMANENT STABILIZATION SHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION.

8. AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE SEVENTH (7TH) DAY AFTER WORK HAS CEASED.

9. STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE) . STOCKPILES, NOT BEING ACTIVELY WORKED AND TO REMAIN IN PLACE FOR FOURTEEN (14) DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.

10. PRIORITY SHALL BE GIVEN TO THE COMPLETION AND STABILIZATION OF THE DETENTION AND COMPENSATORY STORAGE AREAS. WORK IN THESE AREAS SHALL NOT BE PROLONGED IN ATTEMPT THAT FINAL GRADING AND STABILIZATION WOULD TAKE PLACE AT ONE TIME. EACH AREA WILL BE CONSIDERED INDIVIDUALLY.

11. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK, FOURTH EDITION, DATED AUGUST 2012.

12. JEFFERSON COUNTY TENNESSEE MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.

13. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

14. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFFSITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY JEFFERSON COUNTY, TENNESSEE.

15. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY JEFFERSON COUNTY, TENNESSEE.

16. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.

17. IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTOR (S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE STATE OF TENNESSEE.

18. WINTER SHUT DOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGATATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL.

SITE DESCRIPTION

SITE DATA
TOTAL SITE - 31.28 ACRES
DISTURBED AREAS - 27.6 ACRES
ON-SITE WETLANDS - 0.0 ACRES
ON-SITE DISTURBED WETLANDS - 0.0 ACRES
EXISTING CN VALUE = 82
POST CONDITIONS CN VALUE = 82
RECEIVING WATERS - MINOR TRIBUTARIES

DESCRIPTION OF CONSTRUCTION ACTIVITY:

THE PROJECT CONSISTS OF EARTHWORK GRADING ON AN EXISTING RESIDENTIAL SITE LOCATED IN JEFFERSON COUNTY, TENNESSEE. THE INTENT OF THE PROJECT IS TO INTRODUCE 27 NEW RESIDENTIAL LOTS OF APPROXIMATELY 1-ACRE ON THE PROPERTY AND ENHANCE THE SURFACE DRAINAGE AND VEGETATION. THE IMPROVEMENTS WILL INCLUDE RE-GRADING AREAS, DETENTION POND, ROADWAY CONSTRUCTION AND SITE IMPROVEMENTS AND RESTORATION ITEMS AS SHOWN ON THE PLAN ATTACHED HERETO.

DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE:

1. TREES WILL BE PROTECTED AGAINST DAMAGE.
2. TEMPORARY EROSION CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROLS ARE IN PLACE AND WORKING PROPERLY AND ALL PROPOSED TURF AREAS SEEDED AND ESTABLISHED.
3. EXCAVATION AND EMBANKMENT WILL BE COMPLETED ALONG THE PROJECT SITE TO ROUGH GRADE OUT FOR THE FINAL GRADING.
4. FINAL GRADING, AND OTHER MISCELLANEOUS ITEMS.
5. PLACEMENT OF PERMANENT EROSION CONTROL, SUCH AS EROSION CONTROL BLANKET, SEEDING AND SODDING.

AREA OF CONSTRUCTION SITE:

THE SITE IS APPROXIMATELY 31.28 ACRES OF WHICH 27.6 ACRES WILL BE DISTURBED BY EXCAVATION, GRADING, AND OTHER ACTIVITIES.

CONTROLS – EROSION CONTROLS AND SEDIMENT CONTROL

DESCRIPTION OF STABILIZATION PRACTICES AT THE BEGINNING OF CONSTRUCTION

1. THE DRAWINGS, SPECIFICATIONS, AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. STABILIZATION PRACTICES INCLUDE; TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SILT FENCE, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, TEMPORARY SEDIMENT BASINS, DITCH CHECK DAMS, ROCK OUTLET PROTECTION, STORM DRAIN INLET PROTECTION, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

   A. AREAS OF EXISTING VEGETATION (WOOD AND GRASSLANDS) OUTSIDE THE PROPOSED CONSTRUCTION LIMITS SHALL BE IDENTIFIED BY THE ENGINEER FOR PRESERVING AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.

   B. DEAD, DISEASED, OR UNSUITABLE VEGETATION WITHIN THE SITE SHALL BE REMOVED AS DIRECTED BY THE ENGINEER, AS SOON AS REASONABLE ACCESS IS AVAILABLE TO ALL LOCATIONS WHERE WATER DRAINS AWAY FROM THE PROJECT. TEMPORARY DITCH CHECKS, AND PERIMETER EROSION BARRIER SHALL BE INSTALLED AS CALLED OUT IN THIS PLAN AND DIRECTED BY THE ENGINEER.

   C. BARE AND SPARSELY VEGETATED GROUND IN HIGH ERODIBLE AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDED AT THE BEGINNING OF CONSTRUCTION WHERE NO CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN DAYS.

   D. AREAS WHICH ARE HIGHLY ERODIBLE AS DETERMINED BY THE ENGINEER, SHALL BE TEMPORARILY SEEDED WHEN NO CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN DAYS.

   E. AT LOCATIONS WHERE A SIGNIFICANT AMOUNT OF WATER DRAINS INTO THE CONSTRUCTION ZONE FROM OUTSIDE AREAS ADJACENT LANDOWNERS. TEMPORARY DITCH CHECKS WILL BE UTILIZED TO LOCALLY DIVERT WATER, REDUCE FLOW RATES, AND COLLECT OUTSIDE SILTATION INSIDE THE PROPERTY LINE.

2. ESTABLISHMENT OF THESE TEMPORARY EROSION CONTROL MEASURES WILL HAVE ADDITIONAL BENEFITS TO THE PROJECT. DESIRABLE GRASS SEED WILL BECOME ESTABLISHED IN THE AREAS AND WILL SPREAD SEEDS ONTO THE CONSTRUCTION SITE UNTIL PERMANENT SEEDING/MOWING AND OVER SEEDING CAN BE COMPLETED.

3. DURING CONSTRUCTION AREAS OUTSIDE THE CONSTRUCTION LIMITS AS OUTLINED PREVIOUSLY HEREIN SHALL BE PROTECTED. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING (EXCEPT AS DESCRIBED ON THE PLANS AND DIRECTED BY THE ENGINEER) , PARKING OF VEHICLES OR CONSTRUCTION EQUIPMENT, STORAGE OF MATERIALS, OR OTHER CONSTRUCTION RELATED ACTIVITIES.

   A. WITHIN THE CONSTRUCTION LIMITS, AREAS WHICH MAY BE SUSCEPTIBLE TO EROSION AS DETERMINED BY THE ENGINEER SHALL REMAIN UNDISTURBED UNTIL FULL SCALE CONSTRUCTION IS UNDERWAY TO PREVENT UNNECESSARY SOIL EROSION.

   B. EARTH STOCKPILES SHALL BE TEMPORARILY SEEDED IF THEY ARE TO REMAIN UNUSED FOR MORE THAN FOURTEEN DAYS.

   C. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL INSTITUTE THE FOLLOWING AS DIRECTED BY THE ENGINEER:

      I. PLACE TEMPORARY EROSION CONTROL FACILITIES AT LOCATIONS SHOWN ON THE PLANS.

      II. TEMPORARILY SEED ERODIBLE BARE EARTH ON A WEEKLY BASIS TO MINIMIZE THE AMOUNT OF ERODIBLE SURFACE AREA WITHIN THE CONTRACT LIMITS.

      III. CONSTRUCT ROADSIDE DITCHES AND PROVIDE TEMPORARY EROSION CONTROL SYSTEMS.

      VI. CONTINUE BUILDING UP THE EMBANKMENT TO THE PROPOSED GRADE WHILE AT THE SAME TIME, PLACING PERMANENT EROSION CONTROL SUCH AS STRAW BALES AND SILT FENCE AND CONDUCTING FINAL SHAPING TO THE SLOPES.

   D. EXCAVATED AREAS AND EMBANKMENT SHALL BE PERMANENTLY SEEDED IMMEDIATELY AFTER FINAL GRADING. IF NOT, THEY SHALL BE TEMPORARILY SEEDED IF NO CONSTRUCTION ACTIVITY IN THE AREA IS PLANNED FOR 7 DAYS.

CONTINUED ABOVE RIGHT

CONTINUED FROM BELOW LEFT

   E. CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OF OTHER POLLUTANT IN ACCORDANCE WITH EPA WATER QUALITY REGULATIONS. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.

   F. THE RESIDENT ENGINEER SHALL INSPECT THE PROJECT REGULARLY DURING CONSTRUCTION ACTIVITIES IF REQUIRED.INSPECTION SHALL ALSO BE DONE WEEKLY AND AFTER RAINS OF ½ INCH OR GREATER OR EQUIVALENT SNOWFALL AND DURING THE WINTER SHUTDOWN PERIOD. THE PROJECT SHALL ADDITIONALLY BE INSPECTED BY THE CONSTRUCTION FIELD ENGINEER ON A BIWEEKLY BASIS TO DETERMINE THAT EROSION CONTROL EFFORTS ARE IN PLACE AND EFFECTIVE AND IF OTHER EROSION CONTROL WORK IS NECESSARY. THE SITE DRAINS TO A STREAM WITH UNAVAILABLE PARAMETERS, THE EROSION AND SEDIMENT CONTROL MEASURES AT OR NEAR RECEIVING STREAM AREA WILL BE INSPECTED TWICE WEEKLY.

   G. SEDIMENT AND EROSION CONTROL DEVICES (SILT FENCE, SEDIMENT TRAPS, ROCK CHECK DAMS, ETC) SHALL BE CLEANED OUT AT OR BEFORE THEY REACH 50% CAPACITY.

   H. SEDIMENT COLLECTED DURING CONSTRUCTION OF THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS BY THE CONTRACTOR. THE COST OF THIS MAINTENANCE SHALL BE INCLUDED IN THE UNIT BID PRICE FOR EARTH EXCAVATION FOR EROSION CONTROL.

   I. THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED AS DIRECTED BY THE ENGINEER AFTER USE IS NO LONGER NEEDED OR NO LONGER FUNCTIONING. THE COST OF THIS REMOVAL SHALL BE INCLUDED IN THE UNIT BID PRICE FOR VARIOUS TEMPORARY EROSION CONTROL PAY ITEMS.

DESCRIPTION OF STABILIZATION PRACTICES DURING CONSTRUCTION:

1. SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK SHALL BE FOLLOWED AS DIRECTED BY THE OWNER, ENGINEER, OR CITY ENGINEER. ANY SOIL EROSION CONTROL MEASURES, IN ADDITION TO THOSE OUTLINED IN THESE PLANS AND WHICH ARE DEEMED NECESSARY BY THE OWNER, ENGINEER AND/OR TOWN OF FARRAGUT ENGINEER, SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.
2. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES. THE SOIL EROSION CONTROL FENCING AS INDICATED HEREON SHALL BE INSTALLED TO PROTECT SURROUNDING PROPERTIES.
3. PERIODIC INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED.
4. STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
5. SEDIMENT SHALL BE MINIMIZED USING PROCEDURES FROM THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK BEFORE BEING ALLOWED TO ENTER THE EXISTING STORM SEWER SYSTEM.
6. IN ACCORDANCE WITH THESE CONSTRUCTION PLANS, TEMPORARY SYNTHETIC FILTER/FABRIC FENCE SHALL BE INSTALLED AND MAINTAINED AROUND STORM SEWER STRUCTURES, AND IN SWALE AREAS UNTIL VEGETATION IS ESTABLISHED AND/OR CONSTRUCTION IS COMPLETE.
7. TOPSOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF SAID STOCKPILE ONTO OFFSITE AREAS, I.E. THE STOCKPILE SHALL BE LOCATED SO THAT AN ONSITE DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND THE DOWNSTREAM OFFSITE PROPERTY. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN TWELVE MONTHS, IT IS REQUIRED THAT THE STOCKPILE BE SEEDED SO AS TO MINIMIZE SOIL EROSION BY BOTH WIND AND WATER.
8. MUD AND DUST CONTROL SHALL BE ESTABLISHED AT THE ONSET OF CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT.
9. UNLESS SOIL EROSION CONTROL ITEMS ARE SPECIFICALLY REFERRED TO AS BID ITEMS (SUCH AS TOPSOIL RESPREAD, SEEDING, ETC) , THEY ARE TO BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
10. UPON COMPLETION OF TOPSOIL RESPREAD OPERATIONS, ALL DISTURBED AREAS SHALL BE SEEDED, SODDED OR LANDSCAPED AS NOTED ON THE PLAN.
11. SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH SECTIONS OF THE STANDARD SPECIFICATIONS. SEED MIXTURE SHALL BE CLASS 1.
12. SLOPES GREATER THAN 6:1 SHALL BE PROTECTED WITH STAPLED EXCELSIOR BLANKET IN ACCORDANCE WITH TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK.

EACH RESPECTIVE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND ANY NECESSARY CORRECTIVE ACTION ASSOCIATED WITH THE EROSION CONTROL MEASURES SO DESIGNATED FOR THAT CONTRACTOR. THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE DESIGNATED CONTRACTOR AT THE TIME AND IN THE GENERAL SEQUENCE BELOW.

GRADING/EARTHWORK CONTRACTOR
A. PROVIDE CONSTRUCTION ENTRANCE AND EROSION CONTROL FABRIC PRIOR TO THE START OF CONSTRUCTION.

B. PROVIDE DIVERSION SWALES AROUND SITE PERIMETER AS NECESSARY TO PREVENT/INTERCEPT STORM WATER RUNOFF TO OFFSITE AREAS AS PART OF INITIAL MASS GRADE IMPROVEMENTS.

C. PROVIDE DIVERSION DITCH/TOPSOIL BERM IN ACCORDANCE WITH TEMPORARY TOPSOIL STOCKPILE DETAIL FOR ALL STOCKPILES PRIOR TO PLACEMENT OF MATERIAL IN SAID STOCKPILE.

INSPECTIONS, QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.

A. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

B. B. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN THE PLAN IN ACCORDANCE WITH PARAGRAPH IV.D.1 (SITE DESCRIPTION) OF THIS PERMIT AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THE PLAN IN ACCORDANCE WITH PARAGRAPH IV.D.2 (CONTROLS) OF THIS PERMIT SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE PLAN WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME (S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION,THE DATE (S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PARAGRAPH B ABOVE SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS AFTER THE DATE OF INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI.G (SIGNATORY REQUIREMENTS) OF THIS PERMIT.

D. THE PERMITTEE SHALL COMPLETE AND SUBMIT WITHIN 5 DAYS AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR ANY VIOLATION OF THE STORM WATER POLLUTION PREVENTION PLAN DISCOVERED DURING AN INSPECTION CONDUCTED, INCLUDING THOSE NOT REQUIRED BY THE PLAN. SUBMISSION SHALL BE ON FORMS PROVIDED BY THE AGENCY AND INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE.

E. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY AS DEFINED IN PART VI.G (SIGNATORY REQUIREMENTS) .

DESCRIPTION OF STRUCTURAL PRACTICES AFTER FINAL GRADING:

1. THE DRAWINGS, SPECIFICATIONS, AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. STABILIZATION PRACTICES INCLUDE;
2. TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SILT FENCE, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, TEMPORARY SEDIMENT BASINS, DITCH CHECK DAMS, ROCK OUTLET PROTECTION, STORM DRAIN INLET PROTECTION, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER.
3. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
4. TEMPORARY EROSION CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROL IS IN PLACE AND WORKING PROPERLY AND ALL PROPOSED TURF AREAS SEEDED AND ESTABLISHED.
5. ONCE PERMANENT EROSION CONTROL SYSTEMS AS PROPOSED IN THE PLANS ARE FUNCTIONAL AND ESTABLISHED, TEMPORARY ITEMS SHALL BE REMOVED, CLEANED UP, AND DISTURBED TURF REGRADED.

MAINTENANCE AFTER CONSTRUCTION:

1. SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK SHALL BE FOLLOWED AS DIRECTED BY THE OWNER, ENGINEER, OR CITY ENGINEER. ANY SOIL EROSION CONTROL MEASURES, IN ADDITION TO THOSE OUTLINED IN THESE PLANS AND WHICH ARE DEEMED NECESSARY BY THE OWNER, ENGINEER AND/OR TOWN ENGINEER, SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.
2. INSPECTIONS SHALL CONTINUE AS OUTLINED IN STABILIZATION PRACTICES DURING CONSTRUCTION UNTIL THE COMPLETION OF CONSTRUCTION.
3. 3. CONSTRUCTION IS COMPLETE AFTER ACCEPTANCE BY JEFFERSON COUNTY, TENNESSEE. FINAL INSPECTION. MAINTENANCE UP TO THIS DATE WILL BE BY THE CONTRACTOR.

MISCELLANEOUS:

1. TEMPORARY DITCH CHECKS SHALL BE LOCATED AT EVERY 1.5 FT. FALLRISE IN DITCH GRADE.
2. TEMPORARY EROSION CONTROL SEEDING SHALL BE APPLIED AT A RATE OF 100 LBS/ACRE.
3. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS, AS DIRECTED BY THE ENGINEER. THE COST OF THIS MAINTENANCE SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER CUBIC YARD FOR EARTH EXCAVATION FOR EROSION CONTROL.
4. ALL EROSION CONTROL PRODUCTS FURNISHED SHALL BE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE USE SPECIFIED IN THE EROSION CONTROL PLAN. PRIOR TO THE APPROVAL AND USE OF THIS PRODUCT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A NOTARIZED CERTIFICATION BY THE PRODUCER STATING THE INTENDED USE OF THE PRODUCT AND THAT THE PHYSICAL PROPERTIES REQUIRED FOR THIS APPLICATION ARE MET OR EXCEEDED. THE CONTRACTOR SHALL PROVIDE MANUFACTURER INSTALLATION PROCEDURES TO FACILITATE THE ENGINEER IN CONSTRUCTION INSPECTION.

SCHEDULE OF IMPROVEMENTS

INSTALL INITIAL EROSION CONTROL PROTECTION	JULY, 2025
GROUND COVER REMOVAL	JULY, 2025
SITE GRADING	JULY, 2025
STABILIZE SITE FOR WINTER	NOVEMBER, 2025
CONSTRUCTION CLOSEOUT	MARCH, 2026

CONTRACTOR CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

CONTRACTOR'S COMPANY NAME: _____

ADDRESS: _____

PHONE NO. : _____

SIGNATURE: _____

TITLE: _____

DATE: _____

ENGINEER'S CERTIFICATION:

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES PERMIT NUMBER TNR_____ ISSUED BY THE STATE OF TENNESSEE FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

"I CERTIFY UNDER PENALTY OF LAW THAT I HAVE REVIEWED THIS DOCUMENT, ANY ATTACHMENTS, AND THE SWPPP REFERENCED ABOVE. BASED ON MY INQUIRY OF THE CONSTRUCTION SITE OWNER/DEVELOPER IDENTIFIED ABOVE AND/OR MY INQUIRY OF THE PERSON DIRECTLY RESPONSIBLE FOR ASSEMBLING THIS NOI AND SWPPP, I BELIEVE THE INFORMATION SUBMITTED IS ACCURATE. I AM AWARE THAT THIS NOI, IF APPROVED, MAKES THE ABOVE-DESCRIBED CONSTRUCTION ACTIVITY SUBJECT TO NPDES PERMIT NUMBER TNR100000, AND THAT CERTAIN OF MY ACTIVITIES ONSITE ARE THEREBY REGULATED. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS, AND FOR FAILURE TO COMPLY WITH THESE PERMIT REQUIREMENTS."

ENGINEER _____ DATE _____

HATFIELD & ALLEN ASSOCIATES
ENGINEERING & PLANNING
775 RANDLES ROAD
STRAWBERRY PLAINS, TN 37871
PHONE: (865) 388-5031

CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-3.3
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

SWPPP SPECIFICATIONS

SHEET NUMBER
C-3.3

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PROJECT NAME: _____

RAIN GAUGE LOCATION: _____

DATE	DAY OF WEEK	PREDICTED PRECIPITATION (%)	RAINFALL START TIME	RAINFALL START TIME	DURATION (HOURS)	ACTUAL RAIN AMOUNT (IN)

DATE	DAY OF WEEK	PREDICTED PRECIPITATION (%)	RAINFALL START TIME	RAINFALL START TIME	DURATION (HOURS)	ACTUAL RAIN AMOUNT (IN)

STORM WATER INCIDENT REPORT

DATE	INCIDENT TYPE	CORRECTIVE ACTION

DATE	INCIDENT TYPE	CORRECTIVE ACTION

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STRAWBERRY PLAINS, TN 37871
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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE
AND UTILITY PLAN

JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS

13	25-109 bord-d
23	25-109 base
33	
43	
53	

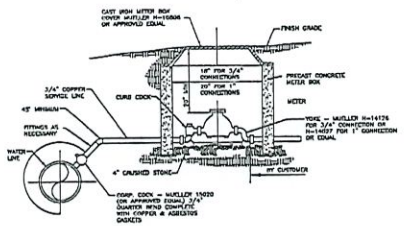
REVISION HISTORY

PROJ NO. = 25-109
DWG FILE = 25-109 C-3.4
ISSUE DATE = 05/09/2025

CATE'S HIDE A WAY

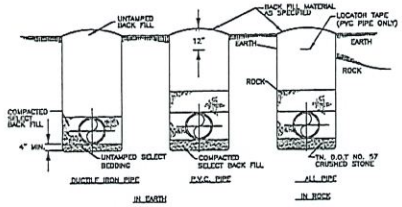
INSPECTION
RAIN FALL & INCIDENT
DATA LOG

SHEET NUMBER
C-3.4



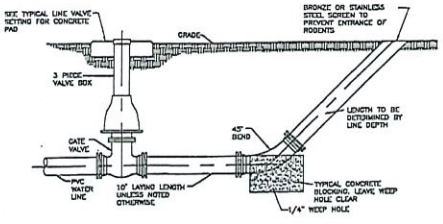
METER SETTING FOR 3/4" & 1" SERVICES

NOT TO SCALE



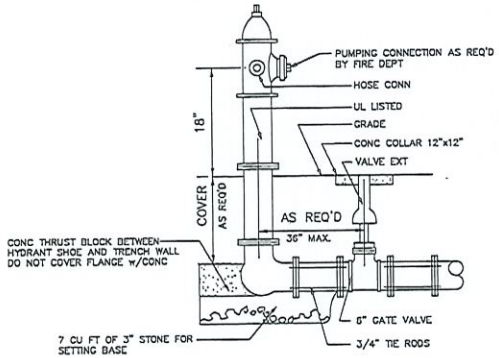
STANDARD WATER LINE BEDDING DETAIL

NOT TO SCALE



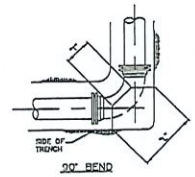
45° BLOW-OFF VALVE DETAIL

NOT TO SCALE

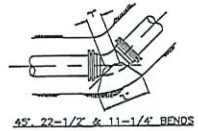


TYPICAL FIRE HYDRANT DETAIL

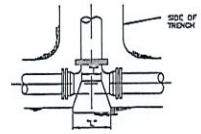
NOT TO SCALE



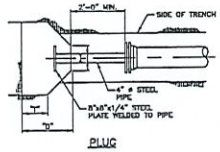
90° BEND



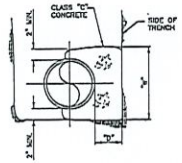
45°, 22-1/2° & 11-1/4° BENDS



TEE



PLUG



PRESSURE = 200 PSI
SOIL CONDITIONS: EARTH - 2,500 PSF
ROCK - 10,000 PSF

90° BEND

SIZE	8	6	2		8	6	2
D	20	14	10		18	10	10
L	34	22	18		28	20	16
W	28	22	16		24	14	12
T	20	14	12		18	10	10

45° & 22-1/2° BENDS

SIZE	8	6	2		8	6	2
D	28	10	8		18	10	10
L	28	22	14		34	12	10
W	28	20	14		20	12	10
T	18	12	10		18	10	10

11-1/4° BEND

SIZE	8	6	2		8	6	2
D	18	14	8		14	10	8
L	24	18	12		18	12	10
W	24	18	12		18	12	10
T	18	10	8		14	10	8

TEE & PLUG

SIZE	8	6	2		8	6	2
D	32	18	10		20	18	12
L	38	28	18		24	18	12
W	34	24	18		24	16	12
T	24	18	12		18	14	12
EARTH					ROCK		

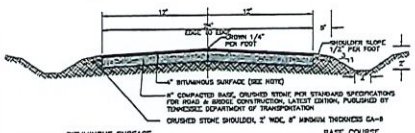
DIMENSIONS ARE IN INCHES

NOTES

1. FOR TEE WITH BRANCH UNEQUAL TO RUN USE TEE TYPE KICKER WITH D, L & W DIMENSIONS THE SAME AS THOSE FOR PLUG WITH SAME DIMENSIONS AS BRANCH OF TEE. SELECT T DIMENSION FROM TEE TABLE UNDER COLUMN HEADED BY THE SIZE OF THE BRANCH.
2. IF EXACT SIZE OF PIPE BLOCKING IS NOT SHOWN, USE NEXT LARGER SIZE.
3. DIMENSION D MAY BE GREATER THAN SPECIFIED TO ALLOW WORKING SPACE. CONCRETE BLOCKING MUST BE POURED AGAINST UNDISTURBED EARTH.

TYPICAL CONCRETE BLOCKING DETAIL

NOT TO SCALE



BITUMINOUS SURFACE

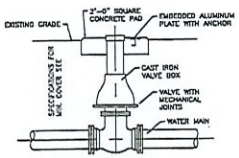
BITUMINOUS SURFACE SHALL CONSIST OF 1-1/2" MINIMUM COMPACTED THICKNESS BITUMINOUS CONCRETE SURFACE COURSE, CLASS, SMA 2-1/2" MINIMUM COMPACTED THICKNESS BITUMINOUS BINDER COURSE.

BASE COURSE

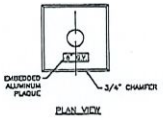
BASE COURSE SHALL BE 8" AGGREGATE BASE COURSE IN ACCORDANCE WITH STATE SPECIFICATIONS. BASE SHALL BE CONSTRUCTED ON A COMPACTED, PREPARED AND ROLLED, SUBGRADE BASE SHALL BE PRIMED WITH MC-30 PRIOR TO PAVING.

TYPICAL ROAD CROSS SECTION DETAIL

NOT TO SCALE



SECTION VIEW



PLAN VIEW

TYPICAL LINE VALVE DETAIL

NOT TO SCALE

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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

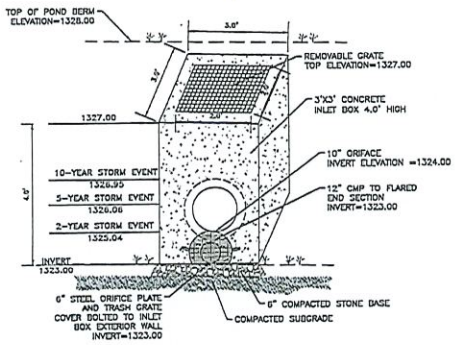
REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-4.0
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

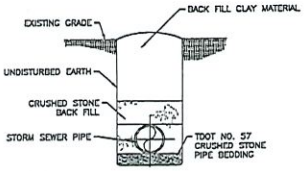
WATER MAIN & ROAD CONSTRUCTION DETAIL SHEET

SHEET NUMBER
C-4.0

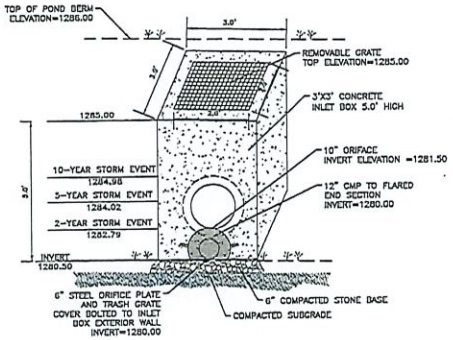


STORM EVENT	PRE-DEVELOPED (CFS)	POST-DEVELOPED (CFS)	POND DISCHARGE (CFS)	ELEVATION
2-YEAR	4.33	18.85	2.99	1325.04
5-YEAR	11.67	34.02	4.15	1326.06
10-YEAR	20.31	48.02	4.82	1326.95

POND "A"
STORM INLET & RESTRICTOR DETAIL
NOT TO SCALE

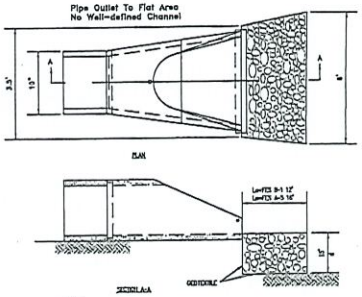


STORM SEWER BEDDING DETAIL
NOT TO SCALE



STORM EVENT	PRE-DEVELOPED (CFS)	POST-DEVELOPED (CFS)	POND DISCHARGE (CFS)	ELEVATION
2-YEAR	6.583	19.46	4.74	1282.79
5-YEAR	17.66	35.12	7.06	1284.02
10-YEAR	3032	49.58	8.43	1284.98

POND "B"
STORM INLET & RESTRICTOR DETAIL
NOT TO SCALE



NOTES:

1. The filter fabric shall meet the requirements in material specifications of drainage structures in the City of Jefferson City.
2. The rock riprap shall meet the specifications of drainage structures in the City of Jefferson City.
3. The riprap shall be placed according to construction specification for loose rock riprap. The rock may be equipment placed.

PIPE OUTLET TO FLAT AREA DETAIL
NOT TO SCALE

HATFIELD & ALLEN
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PHONE: (865) 388-5031

CATE'S HIDE A WAY
SUBDIVISION DRAINAGE
AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
13 25-109 bord-1
22 25-109 Base
37
42
75

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-4.1
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

STORM SEWER
CONSTRUCTION
DETAIL SHEET

SHEET NUMBER
C-4.1

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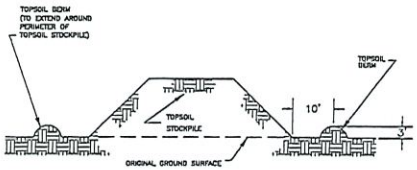
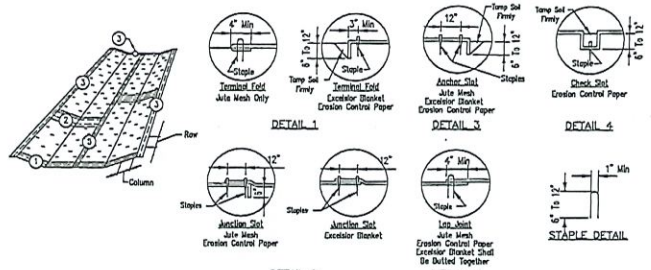


STOCKPILE PROTECTION DETAIL

NOT TO SCALE



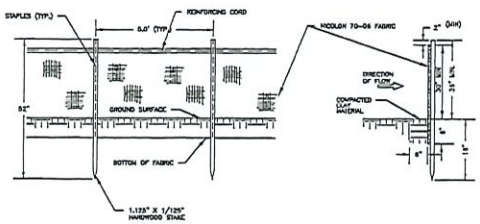
NOTES:

1. On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 30' on slopes of more than 4% and less than 8%. On slopes of 8% or more, they shall be spaced so that one occurs within each 25'.

2. Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4'x 225' roll of material and 125 staples are required per 4'x 150' roll of material.

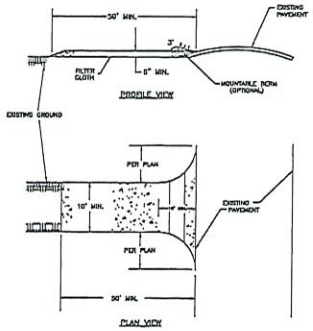
3. Erosion control material shall be placed loosely over ground surface. Do not stretch. All terminal ends and transverse laps shall be stapled at approximately 12" intervals.

EROSION BLANKET INSTALLATION DETAILS



SILT FENCE DETAIL

NOT TO SCALE

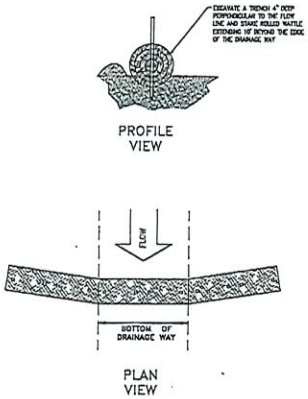


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION EQUIPMENT TIRE CLEANER

NOT TO SCALE



WATTLE DITCH CHECK

NOT TO SCALE

HA
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CATE'S HIDE A WAY
SUBDIVISION DRAINAGE AND UTILITY PLAN
JEFFERSON COUNTY, TENNESSEE

X-REFERENCED DRAWINGS
1) 25-109 bord-d
2) 25-109 Base
3)
4)
5)

REVISION HISTORY

PROJ NO. • 25-109
DWG FILE • 25-109 C-4.2
ISSUE DATE • 05/05/2025

CATE'S HIDE A WAY

EROSION CONTROL DETAIL SHEET

SHEET NUMBER
C-4.2

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TOWN OF DANDRIDGE REGIONAL PLANNING COMMISSION
REQUEST FORM

Presenter: Charlie Bryant Date: 5/27/2025

Property Owner(s): MB+R Contractors Inc., Charlie Bryant

Property Address: _____

(House#, Street Name, Subdivision Name if applicable)

Map and Parcel Number(s): 068F, 004.00

Phone Number(s) _____ or _____

(Please list number where you can be reached during the day)

Attention: All requesters to the Town of Dandridge Planning Commission and/or Board of Zoning Appeals are required to present their materials in accordance to the written regulations within the City's Zoning Ordinance and Subdivision Regulations. Failure to follow these regulations prior to submission will result in having your request removed from the City's Planning Commission and/or Board of Zoning Appeals monthly meeting until such requirements are met.

Special Note: According to the Tennessee Coded Annotated (T.C.A) all subdivision plats (in areas without city sewer/water services) presented to the Town of Dandridge's Planning Commission are required by law to have the signature of the Jefferson County Health Department representative prior to **FINAL PLAT** submission.

_____	Site Plan Review	$50.00
_____	Rezoning Request_____ to_____	$50.00
✓	Subdivision Plats (Preliminary/Final)	
	• 2 lots or less	$20.00
	• 3-5 lots	$30.00
	• 6-15 lots	$60.00
	• 16-30 lots	$70.00
	• 31-50 lots	$80.00
	• 50+ lots	$100.00
_____	Annexation	$25.00
✓	Board of Zoning Appeals (Explanation)	$50.00

2 Duplex on lot in AN R-1 Zone

_____	Point(s) of Clarification	No Fee

Total amount of fees paid: 30.00 Receipt Number: 24494

PRELIMINARY PLAT

NOTES:

NEW 1/2" IRON PINS SET ON ALL CORNERS UNLESS OTHERWISE NOTED.

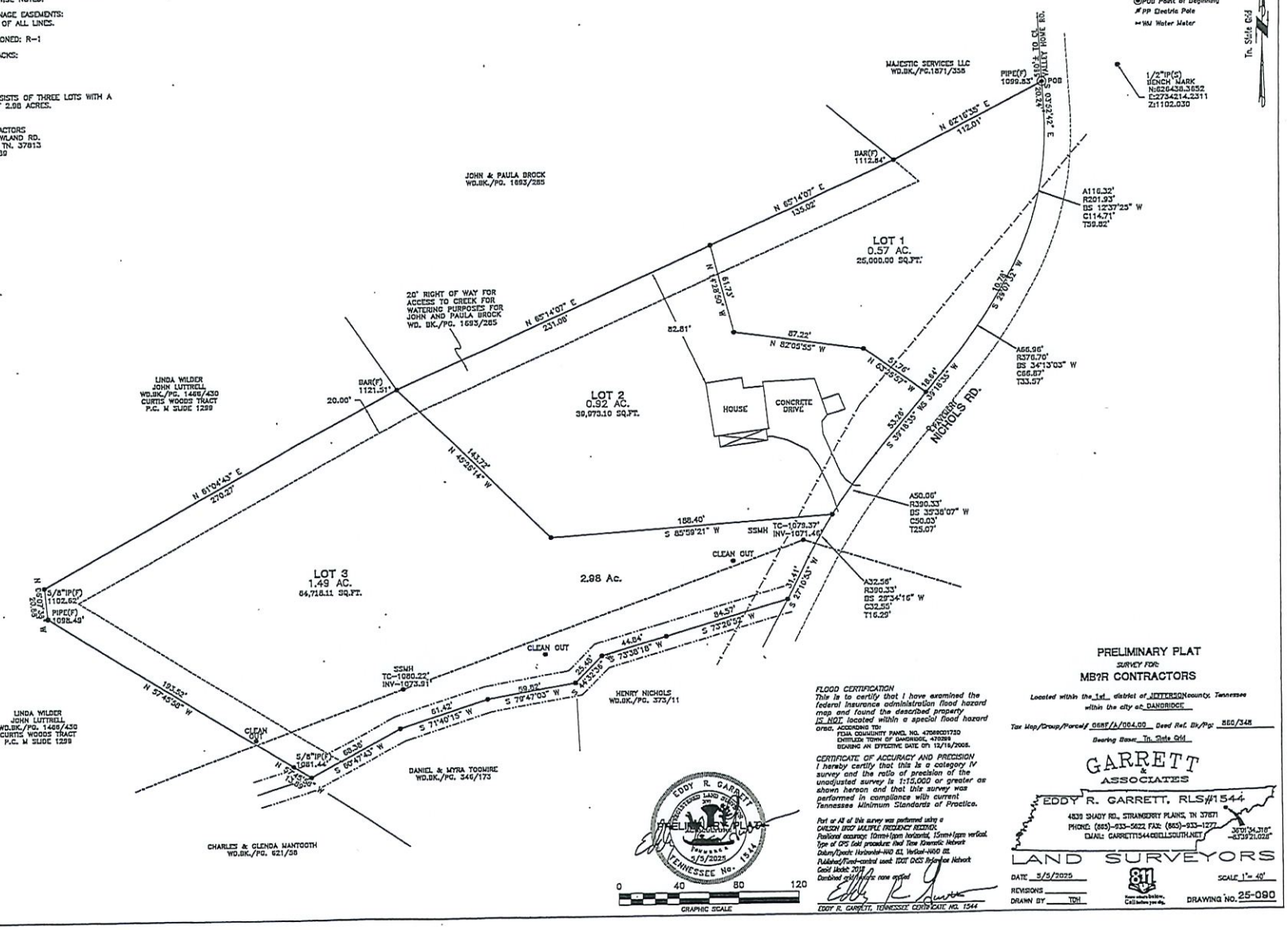
UTILITY & DRAINAGE EASEMENTS: 10' EACH SIDE OF ALL LINES.

PROPERTY IS ZONED: R-1

BUILDING SETBACKS:
FRONT: 30'
SIDE: 15'
REAR: 25'

PROPERTY CONSISTS OF THREE LOTS WITH A TOTAL AREA OF 2.98 ACRES.

CLIENT:
MB&R CONTRACTORS
4636 OLD LOWLAND RD.
MORRISTOWN, TN. 37813
423-703-8989



FLOOD CERTIFICATION
This is to certify that I have examined the federal insurance administration flood hazard map and found the described property IS NOT located within a special flood hazard area. ACCORDING TO:
FEMA COMMUNITY PANEL NO. 47089C0175D
CHITTLEDN TOWN OF DANDRIDGE, 470289
BEARING AN EFFECTIVE DATE OF: 12/16/2005.

CERTIFICATE OF ACCURACY AND PRECISION
I hereby certify that this is a category IV survey and the ratio of precision of the unadjusted survey is 1:15,000 or greater as shown hereon and that this survey was performed in compliance with current Tennessee Minimum Standards of Practice.

Part or All of this survey was performed using a
CARLSON BRIZ MULTIPLE FREQUENCY RECEIVER.
Positional accuracy: 10mm+1ppm horizontal, 15mm+1ppm vertical.
Type of GPS field procedure: Real Time Kinematic Network
Datum/Epoch: Horizontal-NAD 83, Vertical-NAVD 88.
Published/Fixed-control used: TDOT CORS Reference Network
Geoid Model: 2018 .g
Combined grid factor(s): none applied

EDDY R. GARRETT, TENNESSEE CONTRACTOR NO. 1544

PRELIMINARY PLAT
SURVEY FOR:
MB?R CONTRACTORS

Located within the 1st district of JEFFERSON County, Tennessee within the city of DANDRIDGE

Tax Map/Group/Parcel # 068F/B/004.00 Deed Ref. Bk/Pg: 560/348

Bearing Base: Tn. State Grid

GARRETT & ASSOCIATES

EDDY R. GARRETT, RLS#1544
4839 SHADY RD., STRAWBERRY PLAINS, TN 37871
PHONE: (865)-933-3622 FAX: (865)-933-1277
EMAIL: GARRETT1544@BELLSOUTH.NET
36°01'34.316" -83°39'21.028"
LAND SURVEYORS

DATE 5/5/2025
SCALE 1"= 40'
REVISIONS
DRAWN BY TDH
DRAWING NO. 25-090

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